



Oregon State University

JEFFERSON STREET BUILDING TECHNOLOGY SUITE TENANT IMPROVEMENT CONSTRUCTION SERVICES

PROJECT NUMBER: 2482-24

RFP #2024-014457

ADDENDUM NO. THREE (3)

ISSUE DATE: March 11, 2024

CONTRACT ADMINISTRATOR:

Matt Hausman, Construction Contracts Officer

Construction Contracts Administration

Email: ConstructionContracts@oregonstate.edu

This Addendum is hereby issued to inform you of the following revisions and or clarifications to the above-referenced RFP and/or the Contract Documents for the Project, to the extent they have been modified herein. Any conflict or inconsistency between this Addendum and the Solicitation Document or any previous addenda will be resolved in favor of this Addendum. Proposals shall conform to this Addendum. Unless specifically changed by this Addendum, all other requirements, terms and conditions of the Solicitation Document and or Contract Documents, and any previous addenda, remain unchanged and can be modified only in writing by OSU. The following changes are hereby made:

QUESTION/ANSWER:

Item 1 Included with this Addendum are the responses to all the remaining Questions received prior to the deadline. Also included is a marked-up Finish Plan Concepts which accompanies a response to the first question listed.

END OF ADDENDUM NO. THREE (3)

JSB TECH STE TI	
QUESTION	OSU RESPONSE
The finish schedule on sheet G06.01 does not include manufacturer/model or specific material type information for any of the interior finishes (with the exception of glazing and ceiling tiles), and no specifications are provided. Please provide the specified manufacturer/model, or a basis-of-design, for all listed finishes.	See marked up Finish Plan Concepts included with this addendum
Sheet A11.00 shows the elevated view of the 'Casual Collab Countertop' and notes it to be a plastic laminate finish. However, detail 9 on sheet A12.30 indicates it to be quartz. Please clarify the finish of this countertop surface.	Quartz
The reflected ceiling demolition plan shown on sheet A01.12 indicates removal of the ceiling grid to allow for the new ceiling plan shown on sheet A04.02, but does not show the existing drywall soffits that serve as the header of the cased opening into the existing meeting areas. The soffits are also not shown or addressed in the demo/new floor plans. Please confirm if the headers are to be demolished.	There is no existing header at the current Living Room 154B. Headers needed for Large Conference 260 and Medium Conference 250 enclosure will be provided as part of the DIRT system or approved equal. Existing ACT grid will remain in these locations as well.
The demolition floor plan on sheet A01.02 indicates that the entirety of the Circulation 208 area is to have the existing flooring removed. However, the finish legend included on the finish plan (sheet A05.02) indicates that the entirety of the new Circulation area (and the other open/connected areas) has existing resilient flooring to remain. Please confirm that these areas are all to receive new resilient flooring as part of the base scope of work.	For the purpose of this bid, all existing flooring will be removed and replaced with carpet, except for the Pantry, which will be sheet good.
The existing partially enclosed conference/office areas which area shown to become the new MTG-B 219 and Collab 200B areas both have existing thick wood panels and full-height glass markerboards mounted on the side walls of the spaces. Please confirm that these wall-mounted items are to remain in place.	For the purposes of this bid, these will remain in place.
Some existing walls throughout the suite are not standard drywall finishes - Some of the existing offices are walled entirely with painted fabric panels, and many other walls (both interior and exterior) seem to be a pre-finished chamfered gypsum board product which may be glued over a second wall surface. There are also some areas of walls that look to have been installed during subsequent projects that are typical drywall construction. There are existing wall anchors and holes in many areas with each of these wall types. The general notes on sheet A02.02 indicates that a level 4 finish is required at all walls unless noted otherwise, but that won't be possible for all walls unless the fabric wall panels are removed and replaced with sheetrock. Additionally, construction note 02 on G01.01 indicates that all patching of existing finishes is to provide a "like new" condition. Please confirm if removal and replacement of either/both of these panel types at existing walls is required, or if another method of patching is preferred/acceptable.	New paint for all existing walls. Provide small allowance to repair any existing conditions that are visibly damaged. Existing surfaces on walls to remain except for the following: 218 east wall, 219 west wall, 228 south wall, 230 south wall, 237 south wall, 227 north wall, 229 north wall. These walls will need to be level 5 finish to accept wall covering.
The equipment schedule on sheet G06.02 includes a refrigerator, coffee maker, trash/recycle cans and signage, as well bathroom accessory items (no work within bathrooms shown to be included in scope of work). Please confirm if these items are to be contractor-furnished and contractor-installed, and clarify which are not applicable to this project.	Refrigerator will be Owner Furnished/Contractor Installed. Other listed items will be Owner Furnished/Owner Installed
No existing or new power or data plan is provided within the planset, and no specification is provided to indicate the general electrical requirements for the project. Please specify requirements/locations of new power within the remodel areas (all LV/AV excluded, per addendum 02).	For the purpose of this bid, existing power plan for proposed workstations will meet the needs for the new layout. New wall construction will be DIRT or approved equal and have power/data per code.
The new and enlarged reflected ceiling plans shown on sheets A04.02 and A08.01 include a legend indicating light fixture types and locations. However, no basis-of-design or specification for manufacturer/model for any of the new fixtures is included. Please provide a complete light fixture schedule, including any lighting controls requirements.	Match existing with LED. All new lighting to be LED and comply with OSU construction standards. F-03 is Sonneman Thin Line LED or similar. Provide allowance for 6 Muuto Stand Open Pendant Light or similar for F-9/10/11.
The finish schedule on sheet G06.01 details ceiling type CL-04 and notes that it includes "integrated lighting". However, the product details for the specified acoustic baffle system (Arkтура 'Atmosfera Strata' standard module) does not indicate that integrated lighting is an offering. Additionally, there are separate suspended linear light fixtures shown to be installed in the area where CL-04 is used. Please clarify the intent of the "integrated lighting" note within the finish schedule.	Per design progress, there will be no baffle system with integrated lighting. All lighting within room 260 and 250 will be recessed cans with lighting control. The two spaces want to operate as one space and as separate spaces.

<p>No mechanical, electrical, or plumbing drawings are included with the planset, and they are listed as a deferred submittal on the project information sheet. Since no specification information is included for these divisions of work, please confirm if these scopes are to be fully design-build and provide a design narrative to ensure that the proposed design meets the needs of the occupants. Additionally, please confirm that no existing materials/components of the current MEP systems are being replaced as part of this project, and that OSU standards will only be required for NEW materials/devices.</p>	<p>Confirmed</p>
<p>Addendum 01 indicated that new interior partitions are to be DIRTT Construction Systems or approved equal. However that presents several conflicts with other details and configurations shown in the plans:</p> <ul style="list-style-type: none"> oPlease confirm if the new partition between Flex Office 233 and Lactation 237 is to be the modular DIRTT system, or metal stud framed with sheetrock. This area also includes built-in casework/sink, which will not be modular/removable. oPlease confirm if the new partitions shown at Office A and Office B are to be the modular DIRTT system, or metal stud framed with sheetrock. This area also includes built-in casework on the East side of the offices, which will not be modular/removable. Additionally, these walls are shown to encapsulate existing HSS columns. oPlease confirm if the new section of wall on the 1st floor to be the modular DIRTT system, or metal stud framed with sheetrock. oPlease confirm if the partitions enclosing the Large Conference room are to be the DIRTT system, or metal stud framed with sheetrock. The East elevation of the Large Conference room is shown to be an operable partition, with a steel I-beam shown as part of its header assembly - these components will not be movable. oPlease confirm if the partitions enclosing the MTG A and MTG B areas are to be the DIRTT system, or metal stud framed with sheetrock. These partitions are shown to be extending existing framed walls, which are not movable. 	<p>*New partition between 237 and 233 will be traditional framed construction with sheetrock. New construction at 218 and 219 will be DIRTT system or similar. Casework east of 213 is removed from scope. DIRTT walls or approved equal will not encapsulate columns, anticipate system adjoining column locations as opposed to buried. Desks in nooks east of 214 will be part of modular system *New section of wall on the 1st floor to be traditional framed construction with sheetrock. *Partitions enclosing the Large Conference Room and operable partition to be DIRTT system or approved equal. *Partitions enclosing MTG A and MTG B are to be DIRTT system or approved equal. See response to previous question about scope.</p>
<p>Addendum 01 indicates that the new doors are also to be modular, rather than the hollow metal frames as scheduled in the plans. Please confirm if all new doors within the confirmed DIRTT walls are to be sourced from DIRTT Construction Systems (or other approved modular wall supplier), and confirm if they are to closely match the door slab types shown in the door/hardware schedule on G06.00</p>	<p>Door into room 233 will match existing hollow metal frames. All other new doors will be part of DIRTT system or similar.</p>
<p>Please confirm if any casework shown/detailed is to be furnished by DIRTT Construction Systems.</p>	<p>Confirmed</p>
<p>The header detail shown for the operable partition on the East side of Large Conference (32/A12.10) includes a structural steel I-beam, but no support detail is included for the beam. Please provide the support detail for this steel beam. Alternatively, please confirm if this is to be a design-build modular folding wall from DIRTT systems.</p>	<p>This is to be a design-build modular folding wall from DIRTT systems</p>
<p>Will the GC be allowed to section off any portion of the Jefferson Street Building parking lot to allow for contractor parking, dumpsters, temporary toilets, material deliveries, etc?</p>	<p>The GC will be allowed to section off spaces for dumpsters, temporary toilets, and material deliveries. The project will not be paying for the contractor or any subs parking. The lot and street parking adjacent to Jefferson Street Building requires the purchase of a parking pass.</p>
<p>Will there be any limitations to working hours to accommodate the occupied portions of the building for the duration of the project?</p>	<p>No. Any work to be done outside the hours of 7am-5:00pm will need to be coordinated with OSU.</p>
<p>Please provide as-builts for the existing space.</p>	<p>SEE the following link: https://oregonstate.box.com/s/a2f59bcfq01uy69wwqr8wef9ex3u2f98</p>
<p>Please provide working hours and noise requirements.</p>	<p>Any work to be done outside the hours of 7am-5:00pm Monday through Friday will need to be coordinated with OSU. Any Power Actuated Tools (PAT) will need to be coordinated with OSU 24hrs prior to the use of the tool.</p>
<p>Please provide contact information for the building fire alarm contractor.</p>	<p>Dealing with alarms being placed in test mode or silenced you will contact the OSU Construction Manager assigned to this job. For any alterations to the fire alarm / sprinkler system the GC will hold the contract for a fire alarm contractor.</p>

Please provide contact information for any proprietary vendors or contractors for the building.	There are no proprietary vendors or contractors for the building to our knowledge. If this question is related to contact information for DIRTT, we are working with exterior in Portland, OR
Please provide contact information for any scope of work that has a national account associated.	If this question is related to contact information for DIRTT, we are working with exterior in Portland, OR
Please provide building rules and regulations.	Any work to be done outside the hours of 7am-5:00pm Monday through Friday will need to be coordinated with OSU. Any Power Actuated Tools (PAT) will need to be coordinated with OSU 24hrs prior to the use of the tool.
Please provide a hazardous material survey.	OSU does not have a hazardous material survey for this building
If required, will hazardous material testing and potential abatement be handled by the owner?	Yes, if there is any testing or abatement that needs to be done OSU will perform those duties.
Please confirm that existing furnishings in areas that work occurs for this project will be removed by Owner.	Whatever remains in the space at the start of construction will need to be disposed of or recycled by the GC.
Where will laydown be located?	Laydown space will be coordinated with the Construction Manager assigned to this project, but will be in direct vicinity of the project (parking lot or adjacent green space). Fence will be required.
Is there a space for a jobsite trailer? If not, will space within the existing building be provided for the contractors office?	A jobsite trailer will not be accommodated, but several offices on the second floor will be vacated and untouched as part of this project.
Will background checks and badging be required? If so, please provide the information for the time commitment and cost associated.	No
Please provide projected start and end dates.	Please see Schedule in RFP for tentative Notice to Proceed date and Division 01 for the completion date.
If phasing is required, please provide a phasing plan.	No phasing is required for this project.
Where will construction parking be located?	The GC will be allowed to section off spaces for dumpsters, temporary toilets, and material deliveries. The project will not be paying for the contractor or any subs parking. The lot and street parking adjacent to Jefferson Street Building requires the purchase of a parking pass.
Will contractors be required to pay a parking fee? If so, what will the fee be?	The GC will be allowed to section off spaces for dumpsters, temporary toilets, and material deliveries. The project will not be paying for the contractor or any subs parking. The lot and street parking adjacent to Jefferson Street Building requires the purchase of a parking pass.
Please confirm that retrieval and storage of salvaged items will be by owner.	Whatever remains in the space at the start of construction will need to be disposed of or recycled by the GC.
Please confirm that the 2nd floor will be unoccupied during construction.	Yes, where the scope of the work is being done will be unoccupied, there is a suite of offices outside construction scope that could be occupied. We have informed them that they may not want to work in that location due to construction noise.
Where will construction access be located?	I will have the door near the elevator rekeyed to a construction core.
Please provide dimensions and weight limits for the elevator.	76"x48"x87" with max capacity of 2500 lbs

Please advise if Builders Risk will be carried by the client or the General Contractor.	General Contractor as indicated in the General Conditions
Please provide list the list of subcontractors that were responsible for the core and shell build out.	Unknown. Hennebery Eddy and Fortis did the last TI work.
Please confirm mechanical, electrical, HVAC and fire sprinkler are design build	Confirmed
Are lighting controls to remain. New controls as needed may be Watt-Stopper or Equal?	Confirmed
NMB may remain in place and used other than when new raceways are needed shall be meet OSU Standards?	Confirmed
Is there a light fixture standard or should proposals be based on light fixture suggestions from the design build team?	Match existing with LED. All new lighting to be LED and comply with OSU construction standards. F-03 is Sonneman Thin Line LED or similar. Provide allowance for 6 Muuto Stand Open Pendant Light or similar for F 9/10/11.
Is egress lighting too match current installation method?	Confirmed
Is Voice/Data, Multi Media/Fire Alarm are performed by OSU?	Voice and Data contract will be held by OSU. GC will coordinate work with sub.
Please confirm location for laydown area.	Laydown space will be coordinated with the Construction Manager assigned to this project, but will be in direct vicinity of the project (parking lot or adjacent green space). Fence will be required.
Please provide hazardous material survey	OSU does not have a hazardous material survey for this building
Will we have access to the elevator or stair access only?	GC will have access to the elevator and all stairwells.
Is the NIC area on the 2 nd floor remaining active or closed during construction?	NIC area on 2nd floor will be closed during construction
Specifications allow AE submittal review time of 20 days. This is not realistic in the time line stated in the RFQ, please provide an updated AE review timeline.	The design team will work with the selected general contractor to prioritize submittal review to meet the timeline stated in the RFQ

Finish Plan Concepts

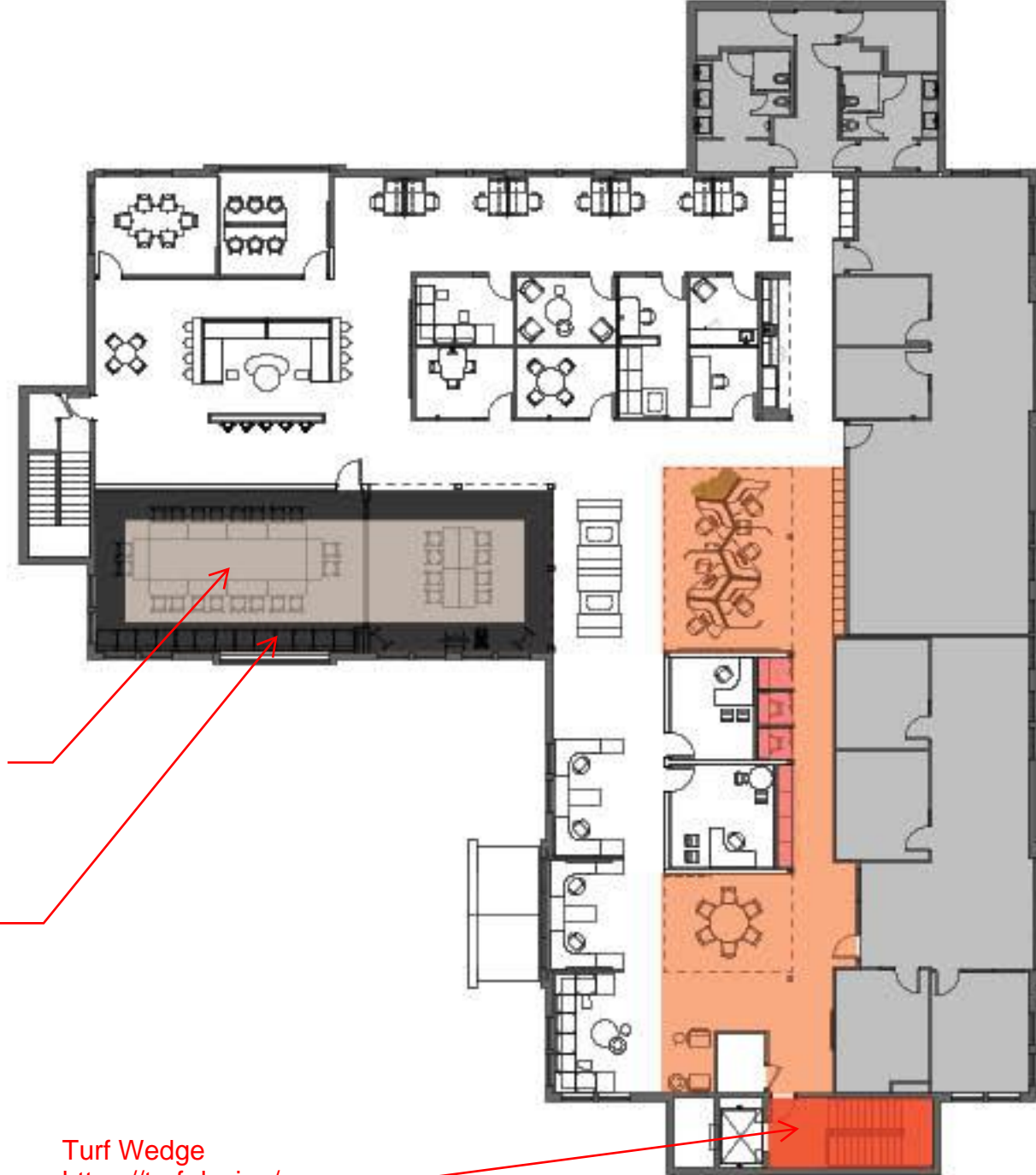
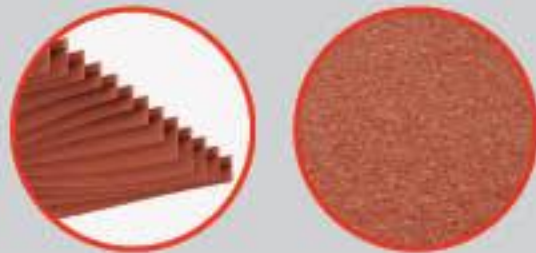
LEVEL 02 RCP FINISHES

Key:

- Existing ACT
- New Colored ACT Tiles within Existing ACT grid
- New Painted Soffit
- New Painted Soffit - Accent Paint
- Turf Magnetic Acoustic Panels



New Baffle System



Turf ACT
<https://turf.design/products/port-ceiling-tile>

new painted
Sheetrock lid painted
or equivalent in act.

Turf Wedge
<https://turf.design/products/wedge>

Finish Plan Concepts

LEVEL 02 FLOOR FINISHES

Key:



Field Carpet Tile



Field Carpet Tile - Accent



Accent Carpet Tile



Resilient Flooring



Tile Flooring

▪Interface
Diminuendo, Perfect
Pitch, Travertine

▪Interface
Diminuendo, Perfect
Pitch, Feldspar

FLOR Down to Earth
Tangerine

removed from scope

sheetgood floor or
equivalent in pantry



Finish Plan Concepts

LEVEL 02 CASEWORK FINISHES

Key:

- Plastic Laminate Countertop
- Wood Countertop
- Painted Cabinets
- Tile Backsplash
- Quartz Countertop and 4" backsplash w/ Plastic Laminate Cabinets



Casework fronts:

- Wilsonart, Natural Recon 7996-38, fine velvet finish

Countertop:

- Cambria Quartz, Salt Lake Matte

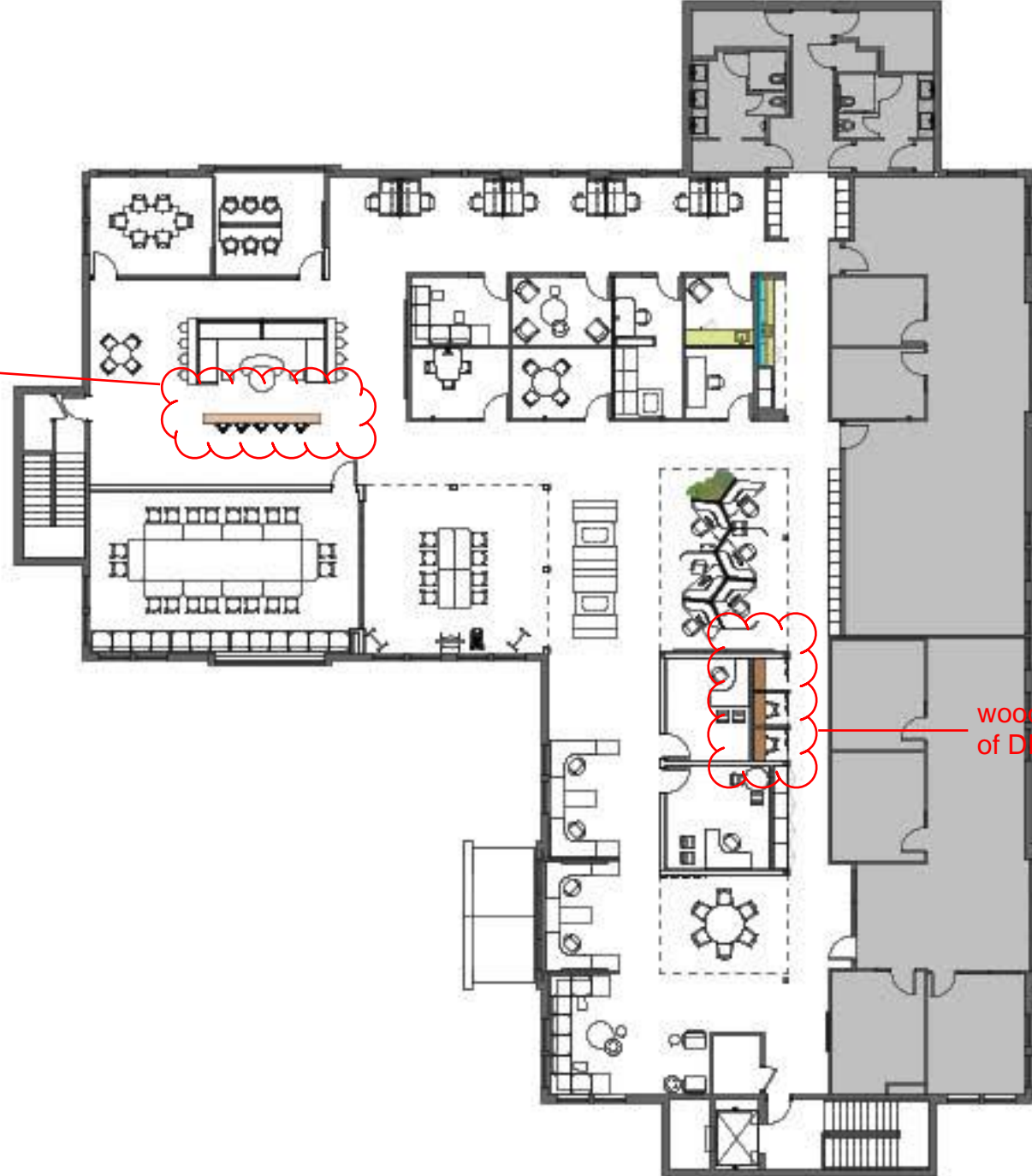
Backsplash tile (run up to bottom of uppers):

- Spec Ceramics, Sweet Bars, White MT

Grout:

- Orange to match orange other design features

quartz same as
pantry



wood countertop part
of DIRT or similar