

**HALSELL HALL REROOF & REFRESH  
EXHIBIT H - DRAWINGS**



**Oregon State**  
**University**

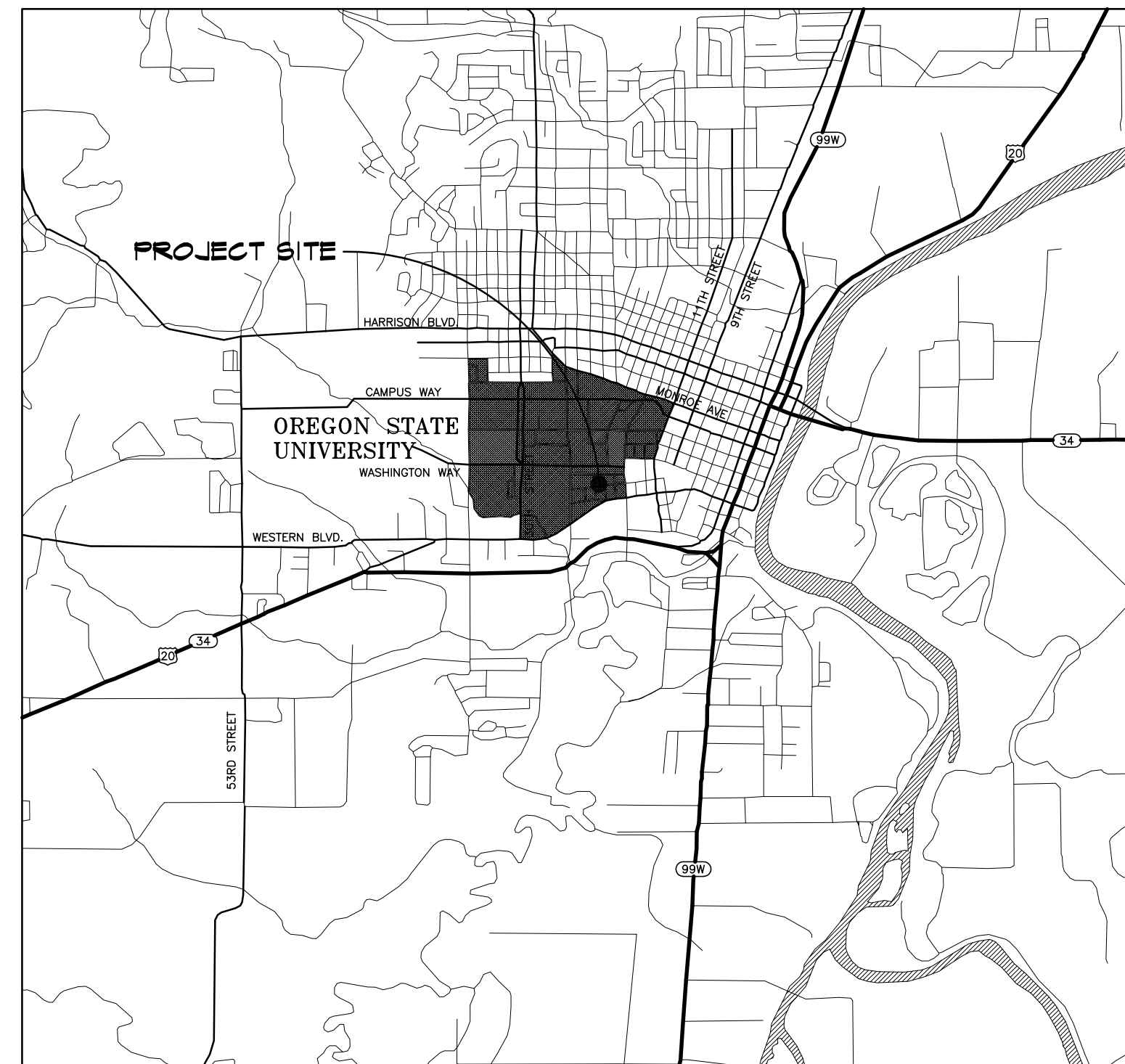
**Construction Contracts Administration  
Oregon State University  
644 SW 13<sup>th</sup> Ave.  
Corvallis, Oregon 97333**

# OREGON STATE UNIVERSITY HALSELL HALL REFRESH UNIVERSITY HOUSING & DINING SERVICES

CORVALLIS, OREGON

OSU - 232-P-19-281

## VICINITY MAP



## SYMBOLS LEGEND

◇	KEY NOTE	○ ? / ???	DETAIL NO. DETAIL TAG SHEET NO.
○	WINDOW TAG	○ ? / ???	DETAIL NO. SECTION TAG SHEET NO.
⊞	EQUIPMENT/ FIXTURE TAG	○ ? / ???	DETAIL NO. ELEVATION TAG SHEET NO.
ROOM 100	ROOM NAME & NUMBER	DOOR NO. ELEVATION HARDWARE	DOOR TAG
		100'-0" / 10' TARGET HEIGHT	HEIGHT CALLOUT
		---	COLUMN GRID
		☁	REVISION CLOUD W/ KEYED REVISION NUMBER

## ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE
ACT.	ACOUSTICAL TILE
ADJ.	ADJACENT, ADJUSTABLE
A.F.F. Ⓞ	ABOVE FINISH FLOOR AT ALUMINUM
AL. BD.	BOARD
BOTT.	BOTTOM
BRG.	BEARING
C.M.U.	CONCRETE MASONRY UNIT
C.T.	CERAMIC TILE
CLG.	CEILING
CONC.	CONCRETE
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DTL.	DETAIL
EA.	EACH
ELEC.	ELECTRIC
EQUIP.	EQUIPMENT
(E),EXIST.	EXISTING
EXT.	EXTERIOR
O.F.C.I.	OWNER FURNISH-CONTRACTOR INSTALL
F.D.	FLOOR DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET
F.G.	FIBER GLASS
FIN.	FINISH
F.R.P.	FIBERGLASS REINFORCED PANELS
GALV.	GALVANIZED
G.B.	GYPSON BOARD
GYP.	GYPSON
H.M.	HOLLOW METAL
I.D.	INSIDE DIAMETER
INFO.	INFORMATION
INSUL.	INSULATION
MAX.	MAXIMUM
MET,MTL	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
NIC	NOT IN CONTRACT
O/C, O.C.	ON CENTER
P.F.	PRE-FINISHED
P.S.	PAINT SYSTEM
PL.	PLASTER
PLAM.	PLASTIC LAMINATE
R.B.	RUBBER BASE
R.C.P.	REFLECTED CEILING PLAN
RD.	ROUND
REQ.D	REQUIRED
S.A.T.	SUSPENDED ACOUSTICAL TILE
SHT.	SHEET
SIM	SIMILAR
STL.	STEEL
STRUCT.	STRUCTURAL
SYNTH.	SYNTHETIC
T.M.E.	TO MATCH EXISTING
T.S.	TUBE STEEL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITION TILE
V.P.	VENEER PLASTER
W/	WITH

## LIFE SAFETY DATA

**APPLICABLE CODE**  
STATE OF OREGON STRUCTURAL SPECIALTY CODE,  
2019 EDITION  
INTERNATIONAL BUILDING CODE, 2018 EDITION

**OCCUPANCY GROUP**  
GROUP R1: RESIDENCE HALL  
GROUP B: OFFICE/CONFERENCE  
GROUP S1: STORAGE

**CONSTRUCTION TYPE**  
TYPE V ONE-HOUR (UBC)

**GROSS BUILDING AREA**

OVERALL AREA: 75,254 sf

ROOF AREA AFFECTED - 20,600 SF  
IN PROJECTED PLAN VIEW

**ACCESSIBLE ROUTE**  
ACCESSIBLE ROUTE IS PROVIDED AND  
MAINTAINED TO ALL AREAS OF THE  
BUILDING AND SITE AFFECTED BY THE  
WORK OF THIS CONTRACT

**FIRE PROTECTION**  
FULLY SPRINKLERED ONE-HOUR CONSTRUCTION

## INDEX OF DRAWINGS

A0.0 TITLE SHEET & DRAWING INDEX

### ARCHITECTURAL SHEETS

A1.2 SITE PLAN  
A2.1 FIRST FLOOR PLAN  
A2.2 TYPICAL FLOOR PLAN  
A2.4 ROOF PLAN  
A3.1 ELEVATIONS  
A3.2 ELEVATIONS  
A3.3 ELEVATIONS

A4.1 ENLARGED FIRST FLOOR PLAN - KNUCKLE  
A4.3 ENLARGED UNIT PLANS AND INTERIOR ELEVATIONS  
A4.4 ENLARGED UNIT PLANS AND INTERIOR ELEVATIONS

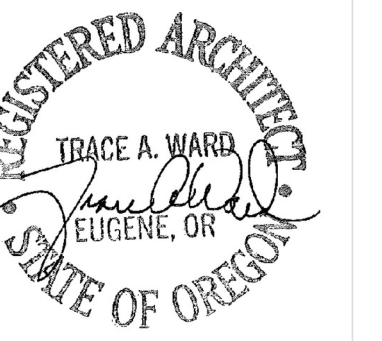
A8.7 ROOF DETAILS

### SCOPES OF WORK

- A1 REMOVE AND REPLACE COMPOSITION SHINGLE ROOF WITH NEW COMPOSITION SHINGLE ROOF. REPLACE ASSOCIATED FLASHINGS AND COUNTER FLASHING.
- A2 REPAINT BUILDING EXTERIOR PRESSURE WASH BUILDING EXTERIOR. REMOVE AND REPLACE CAULK/SEALANTS AT PAINTED SURFACES. INCLUDE ALL EXISTING PAINTED SURFACES. COLORS TO MATCH EXISTING COLOR SCHEME.
- A3 REPLACE VINYL FLOORING AT RESIDENCE UNITS, EXCEPT AS NOTED. REMOVE EXISTING FLOORING, REPLACE DAMAGED UNDERLAYMENT. PROVIDE NEW FLOORING SYSTEMS AS SHOWN.
- A4 NEW ENTRANCE LOBBY FINISHES.
- A5 NEW WATER HEATER. INSTALL NEW WATER HEATER (OFCI) AT EXISTING GROUND FLOOR MECHANICAL ROOM TO LOCATION SHOWN.



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**TITLE SHEET**  
**DRAWINGS INDEX**

PROJECT NO. 21027	DATE 03/15/22
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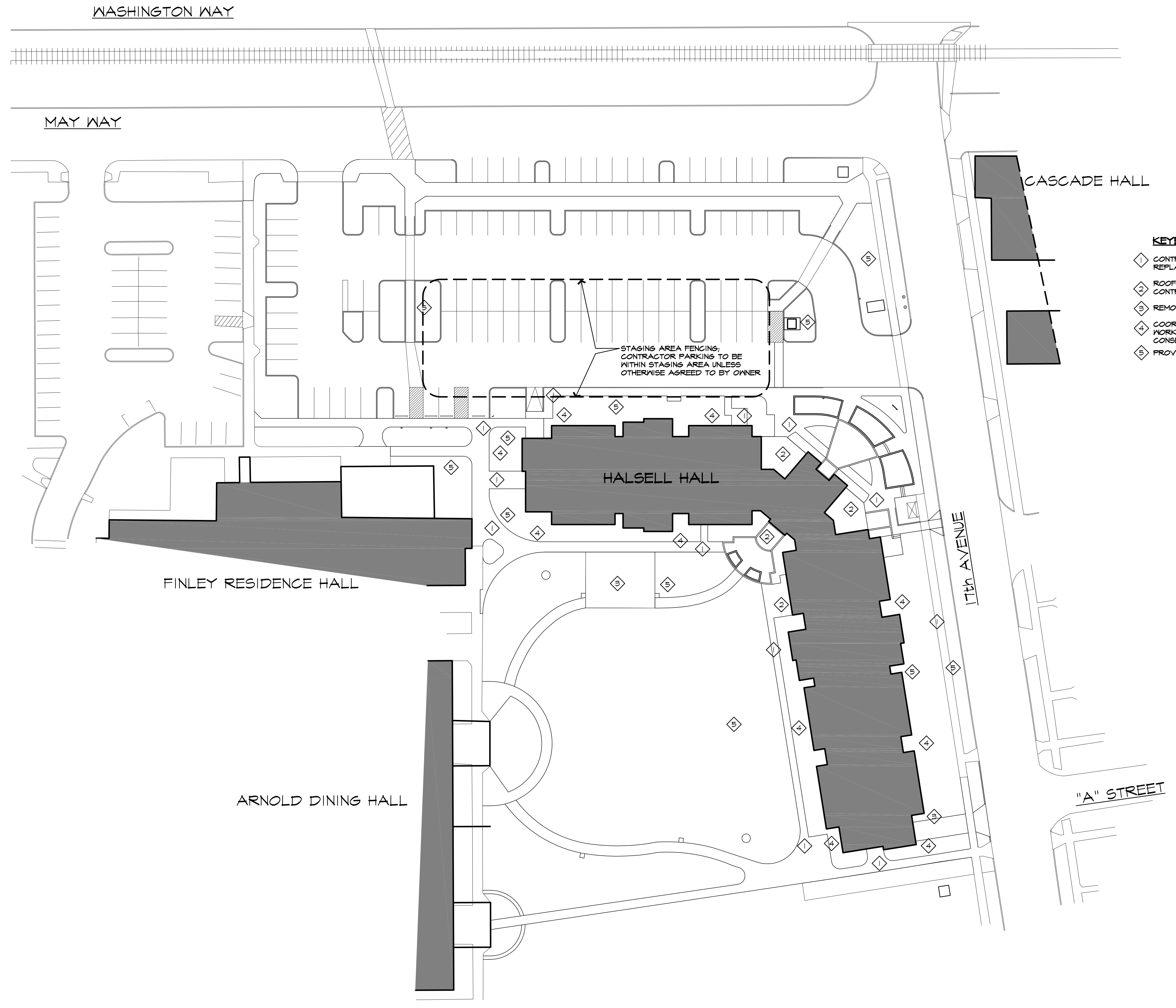
**A0.0**



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**SITE PLAN**

PROJECT NO. 21027	DATE 03/15/22
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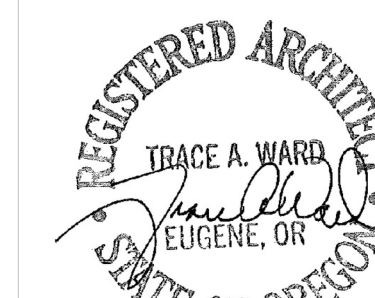
**KEYED DEMOLITION NOTES:**

- 1 CONTRACTOR ACCESS MAY OCCUR OVER EXISTING WALKWAYS. PROTECT WALKWAYS FROM DAMAGE. REPLACE ANY CONCRETE WALKWAYS DAMAGED DURING THE COURSE OF THIS WORK.
- 2 ROOF BELOW AREA OF WORK. CONTRACTOR TO PROVIDE PROTECTION BOARDS TO PROTECT ROOFING. CONTRACTOR SHALL REPAIR/REPLACE ANY ROOFING DAMAGED DURING THE COURSE OF THIS WORK.
- 3 REMOVE AND REINSTALL BIKE RACKS AS NECESSARY TO ALLOW ACCESS FOR PAINTING.
- 4 COORDINATE WITH OWNER BEFORE PRUNING/TRIMMING OF TREES AND SHRUBS ADJACENT TO AREA OF WORK TO ALLOW FOR SCAFFOLDING AND CONTRACTOR ACCESS. DO NOT PRUNE WITHOUT OWNER CONSENT.
- 5 PROVIDE TREE PROTECTION FENCING

**GENERAL SITE NOTES**

- 1. PATCH EXISTING SURFACES TO REMAIN WHERE DAMAGED DURING CONSTRUCTION OR REMOVED DUE TO EXCAVATION FOR WORK OF OTHER TRADES. REFERENCE CIVIL, MECHANICAL, AND ELECTRICAL DRAWINGS.





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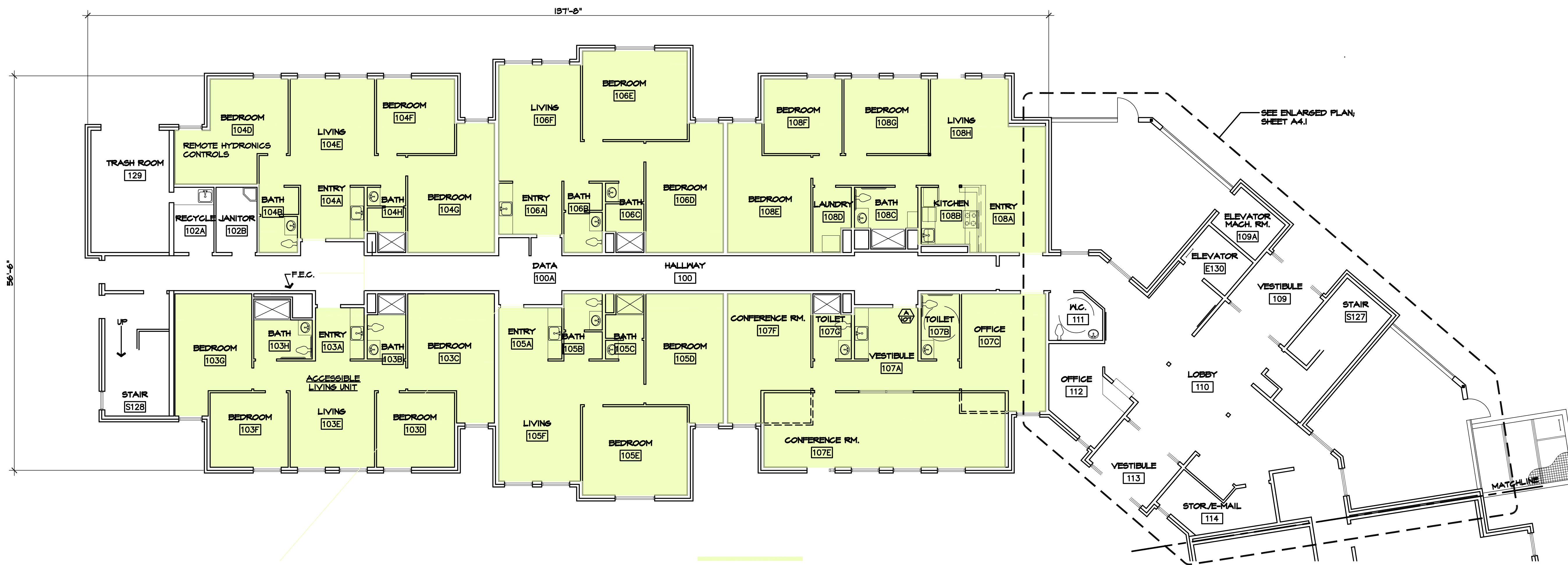
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REVISIONS

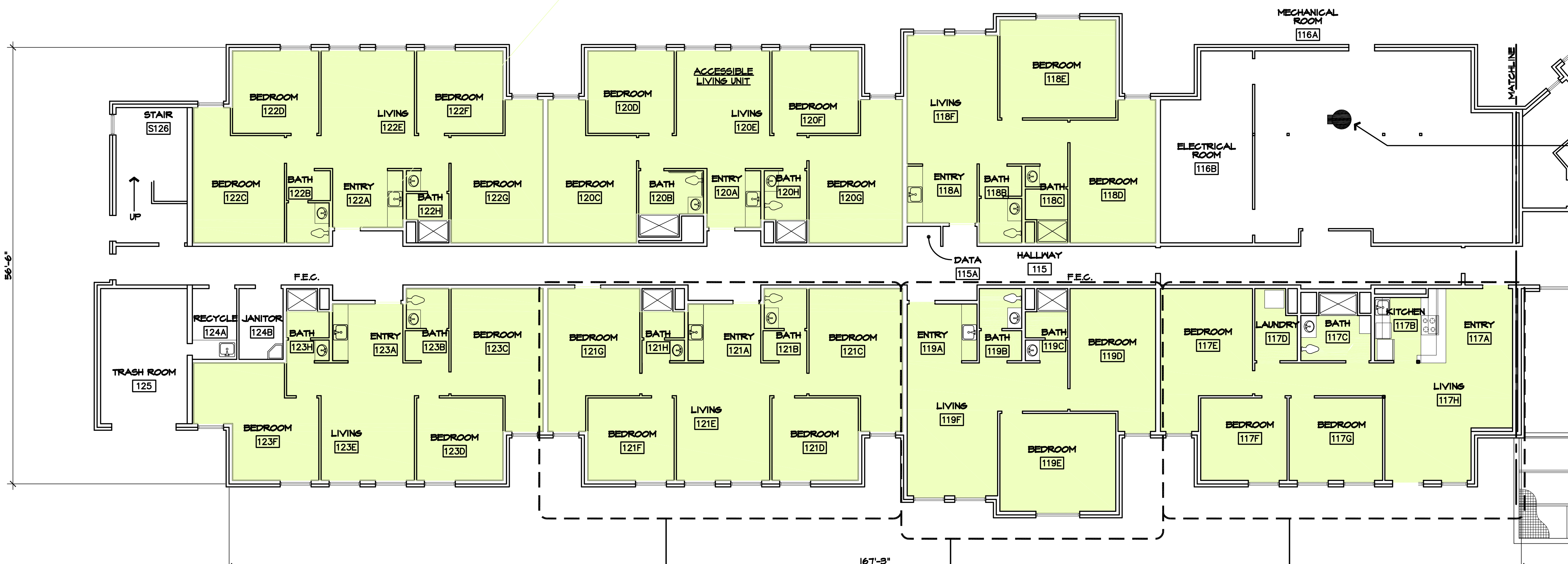
FIRST FLOOR PLAN

PROJECT NO. 21027 DATE 03/15/22

**A2.1**



1  
A2.1  
FIRST FLOOR PLAN - WEST WING  
SCALE: 1/8" = 1'-0"



2  
A2.1  
FIRST FLOOR PLAN - SOUTH WING  
SCALE: 1/8" = 1'-0"

REFERENCE ENLARGED PLAN, SHEET A/4.3 FOR TYPICAL FOUR BEDROOM UNIT

REFERENCE ENLARGED PLAN, SHEET A/4.4 FOR TYPICAL TWO BEDROOM UNIT

REFERENCE ENLARGED PLAN, SHEET A/4.4 FOR TYPICAL HALL DIRECTOR'S UNIT

INSTALL WATER HEATER AT APPROXIMATELY THE LOCATION SHOWN. CONNECT TO EXISTING BUILDING HOT WATER PIPING WITH NEW VALVES. PROVIDE ELECTRICAL CONNECTION WITH 300 AMP BREAKER IN NEW SUB-PANEL





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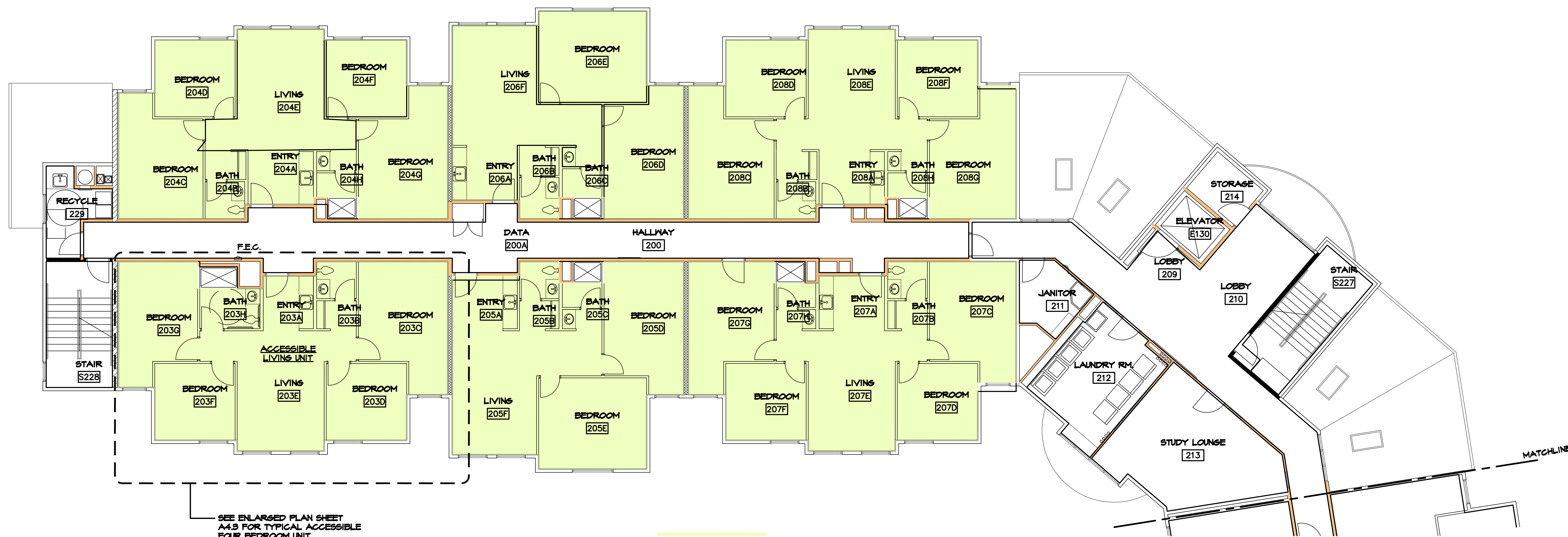
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TYPICAL OVERALL  
PLAN  
FLOORS 2,3,4

PROJECT NO. 21027 DATE 03/16/22

**A2.2**



SEE ENLARGED PLAN SHEET  
A4.3 FOR TYPICAL ACCESSIBLE  
FOUR BEDROOM UNIT

1  
A2.2 TYPICAL FLOOR PLAN - WEST WING  
SCALE: 1/8" = 1'-0"

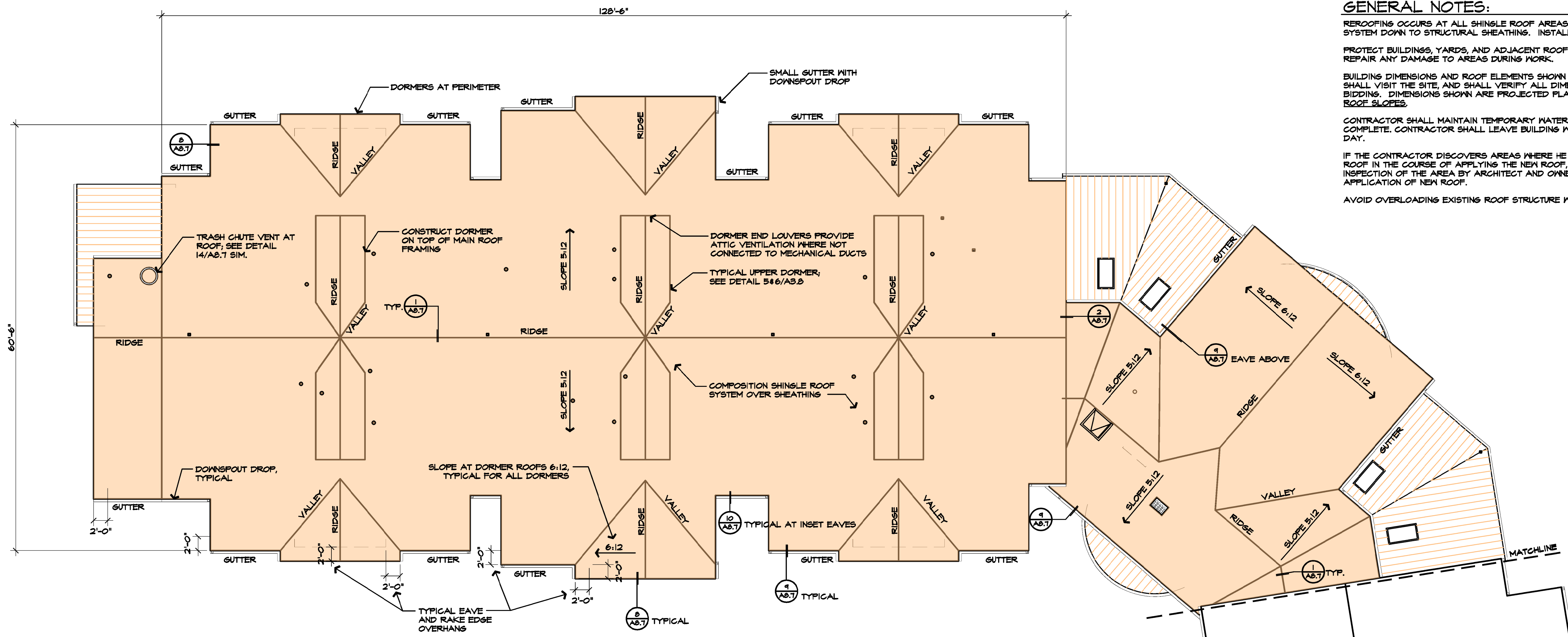


REFERENCE ENLARGED PLAN,  
SHEET A4.4 FOR TYPICAL TWO  
BEDROOM UNIT

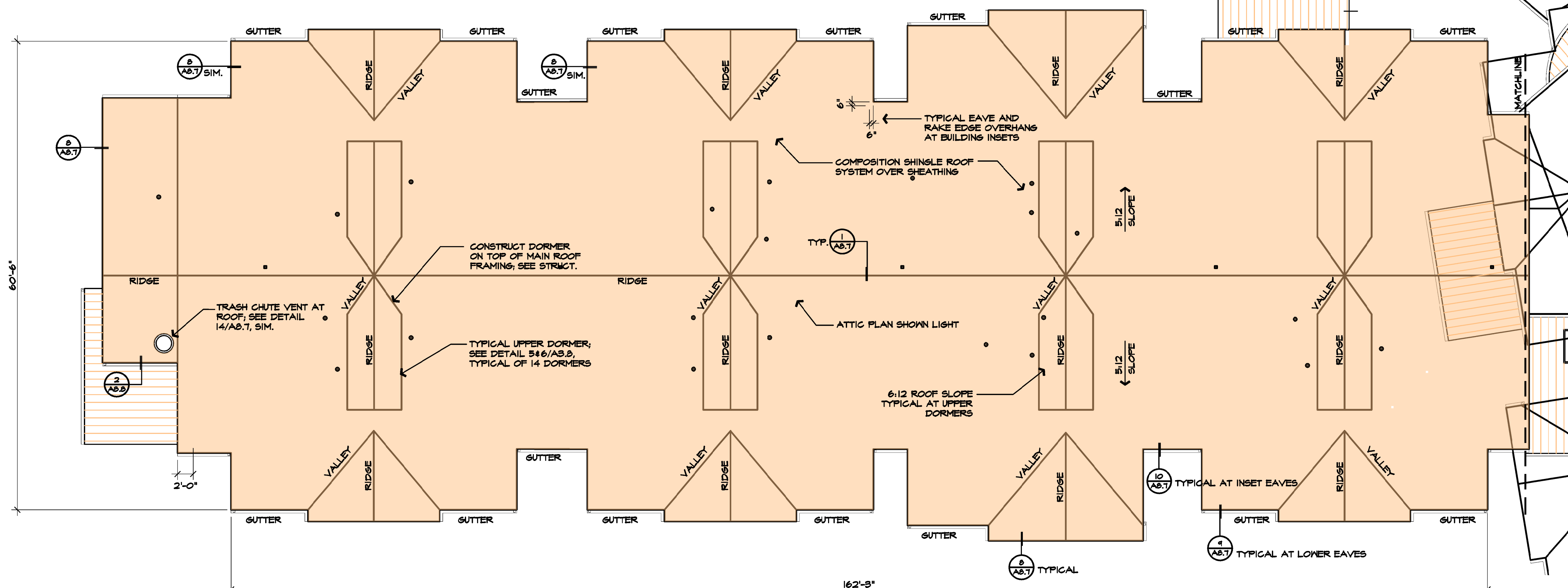
2  
A2.2 TYPICAL FLOOR PLAN - SOUTH WING  
SCALE: 1/8" = 1'-0"







1  
A2.4  
ROOF PLAN - WEST WING  
SCALE: 1/8" = 1'-0"



2  
A2.4  
ROOF PLAN - SOUTH WING  
SCALE: 1/8" = 1'-0"

- LEGEND:**
- COMPOSITION SHINGLE ROOF
  - STANDING SEAM METAL ROOF - NO WORK
  - PLUMBING VENTS
  - GUTTER WITH DOWNSPOUT
  - FALL PROTECTION ANCHOR

- ROOF PLAN NOTES:**
1. PLUMBING VENTS ARE NOT SHOWN, REFERENCE MECHANICAL FOR QUANTITY AND APPROXIMATE LOCATION. PROVIDE FLASHING PER 5/A2.7
  2. DETAILS INDICATED ARE TYPICAL. APPLY SIMILAR DETAILS AT SIMILAR CONDITIONS U.N.O.
  3. ROOF SYSTEMS SHALL BE INSTALLED TO MEET MANUFACTURER'S MINIMUM REQUIREMENTS. IF DETAIL SHOWS LESS THAN MANUFACTURER'S MINIMUM, PROVIDE MFR. MINIMUM.

**GENERAL NOTES:**

REROOFING OCCURS AT ALL SHINGLE ROOF AREAS. REMOVE EXISTING SHINGLE ROOF SYSTEM DOWN TO STRUCTURAL SHEATHING. INSTALL NEW ROOF SYSTEMS AS INDICATED.

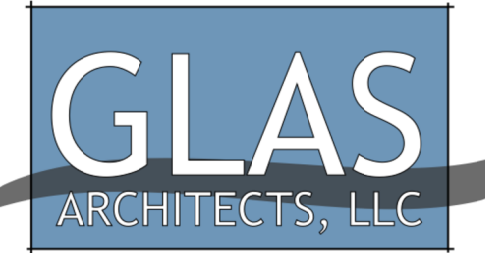
PROTECT BUILDINGS, YARDS, AND ADJACENT ROOF SURFACES FROM DAMAGE AND DEBRIS. REPAIR ANY DAMAGE TO AREAS DURING WORK.

BUILDING DIMENSIONS AND ROOF ELEMENTS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VISIT THE SITE, AND SHALL VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO BIDDING. DIMENSIONS SHOWN ARE PROJECTED PLAN DIMENSIONS, NOT DIMENSIONS ALONG ROOF SLOPES.

CONTRACTOR SHALL MAINTAIN TEMPORARY WATERPROOF COVERINGS UNTIL ROOFING IS COMPLETE. CONTRACTOR SHALL LEAVE BUILDING WEATHER TIGHT AT THE END OF EACH DAY.

IF THE CONTRACTOR DISCOVERS AREAS WHERE HE SUSPECTS DECAY BELOW THE EXISTING ROOF IN THE COURSE OF APPLYING THE NEW ROOF, CONTRACTOR SHALL REQUEST INSPECTION OF THE AREA BY ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO APPLICATION OF NEW ROOF.

AVOID OVERLOADING EXISTING ROOF STRUCTURE WITH STORED MATERIALS.



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REVISION	DATE

**ROOF PLAN**

PROJECT NO.	DATE
21027	03/15/22

A2.4



**GENERAL NOTES:**

REPAINTING OCCURS AT ALL EXTERIOR PAINTED WALL SURFACES. MASK AND OTHERWISE PROTECT UNPAINTED SURFACES FROM DRIPS AND OVERSPRAY.

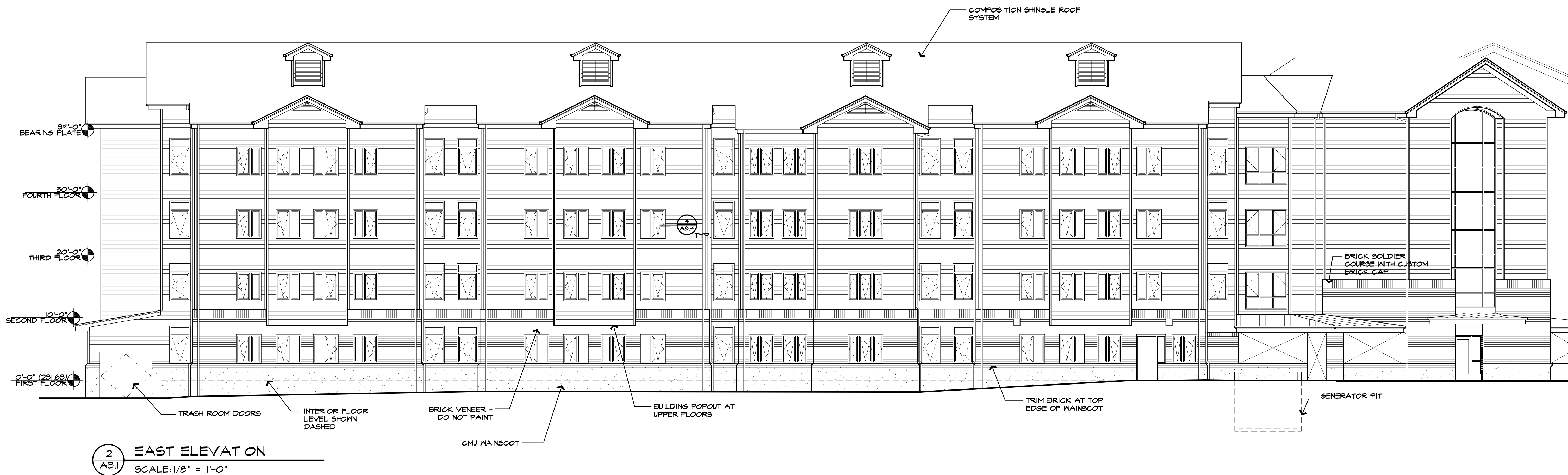
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BUILDING DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VISIT THE SITE, AND SHALL VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO BIDDING.

REMOVE AND REINSTALL LIGHT AND OTHER FIXTURES TO SAME LOCATIONS AT COMPLETION OF PAINTING. MASK AND PROTECT DOOR HARDWARE AND ANY ITEMS NOT REMOVED.

MASK VINYL WINDOWS, AND ALUMINUM WINDOWS AND DOOR FRAMES FOR CLEAN SHARP FINISH TO EDGES OF PAINTING.

COLOR SCHEMES ARE TO MATCH EXISTING. MASK AREAS NOT BEING PAINTED TO PROTECT FROM OVERSPRAY.



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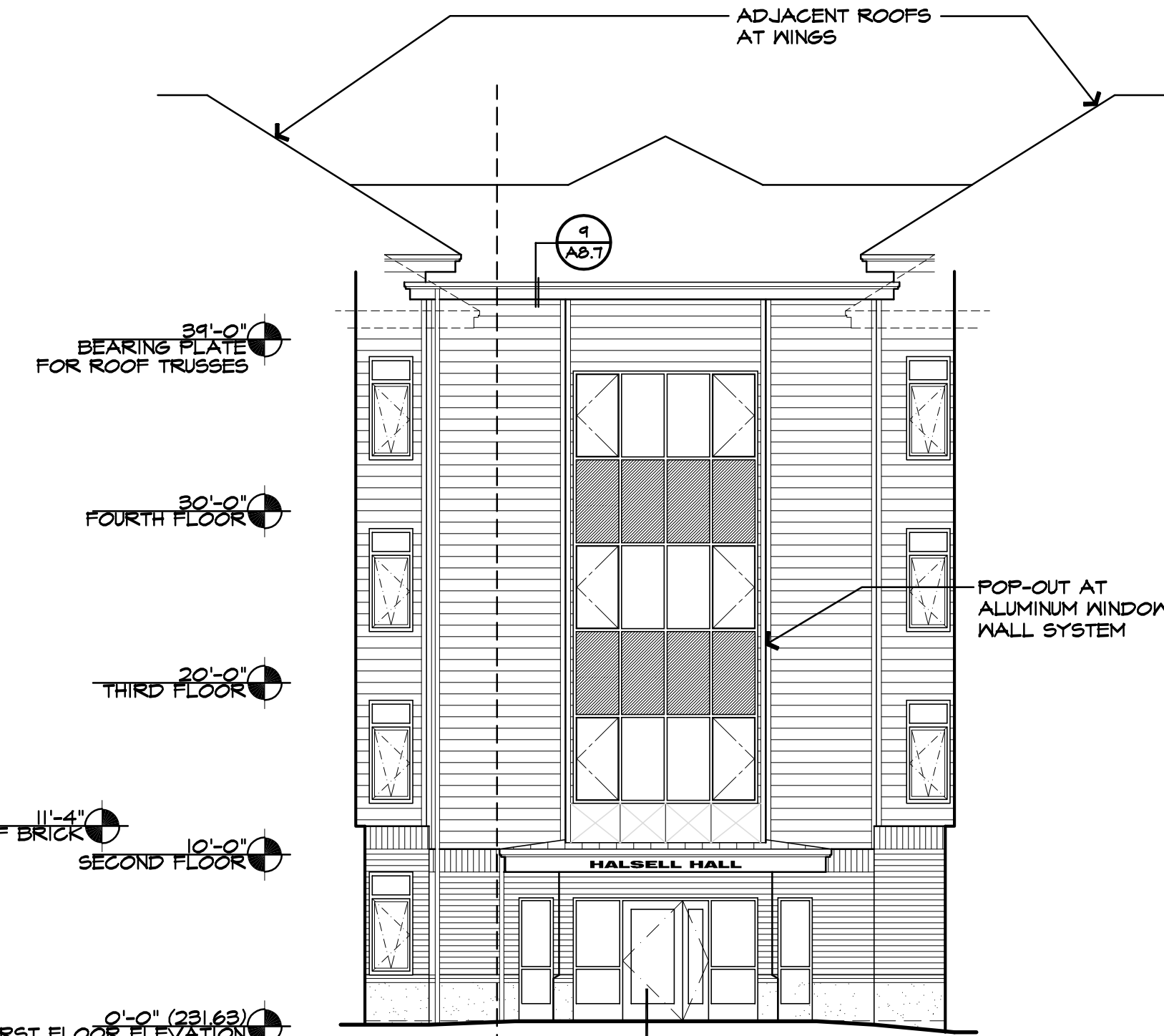
**ELEVATIONS**

PROJECT NO. 21027	DATE 03/15/22
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**1** COURTYARD ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"



**2** "KNUCKLE" - COURTYARD ELEVATION  
SCALE: 1/8" = 1'-0"



**3** COURTYARD ELEVATION - EAST  
SCALE: 1/8" = 1'-0"





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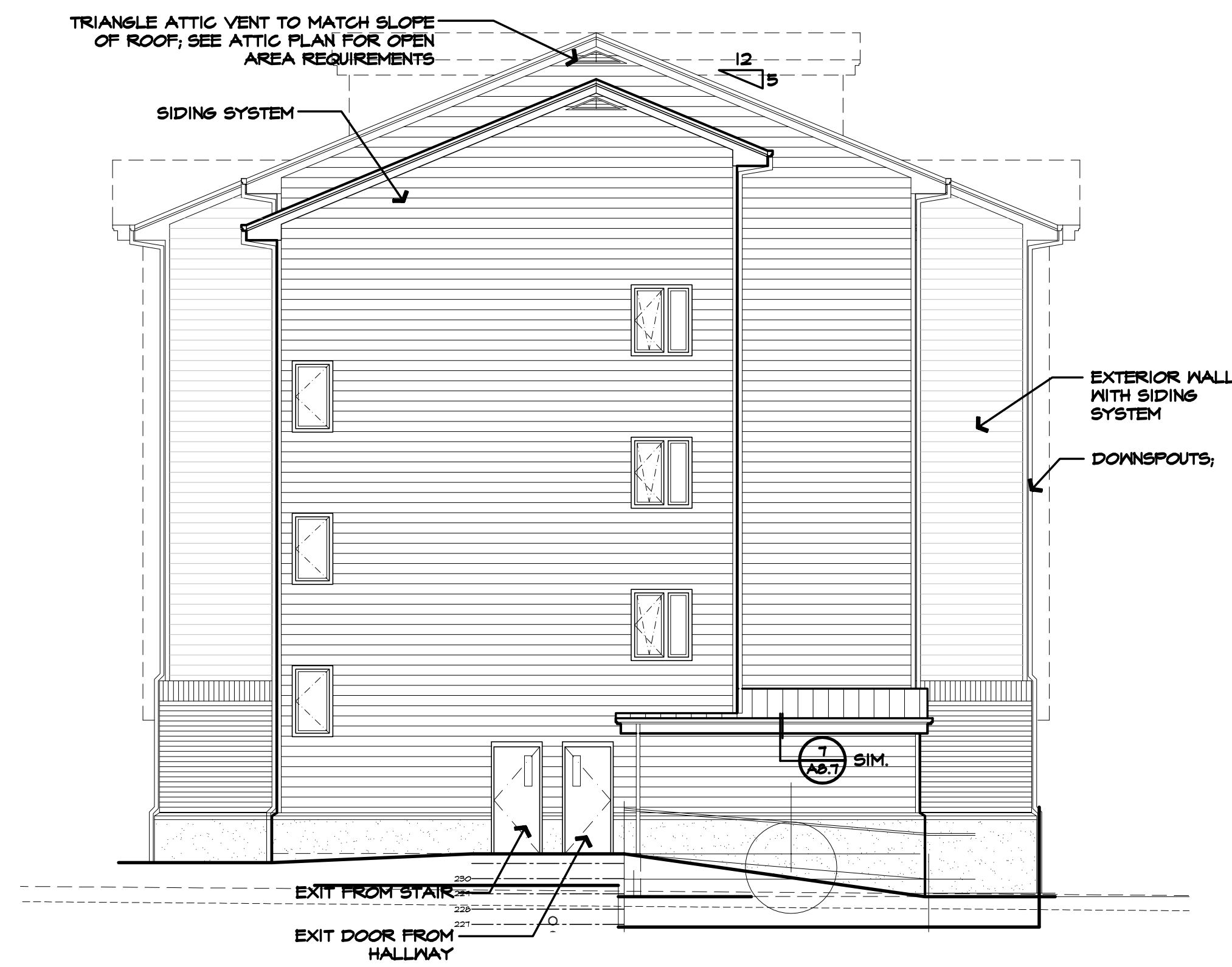
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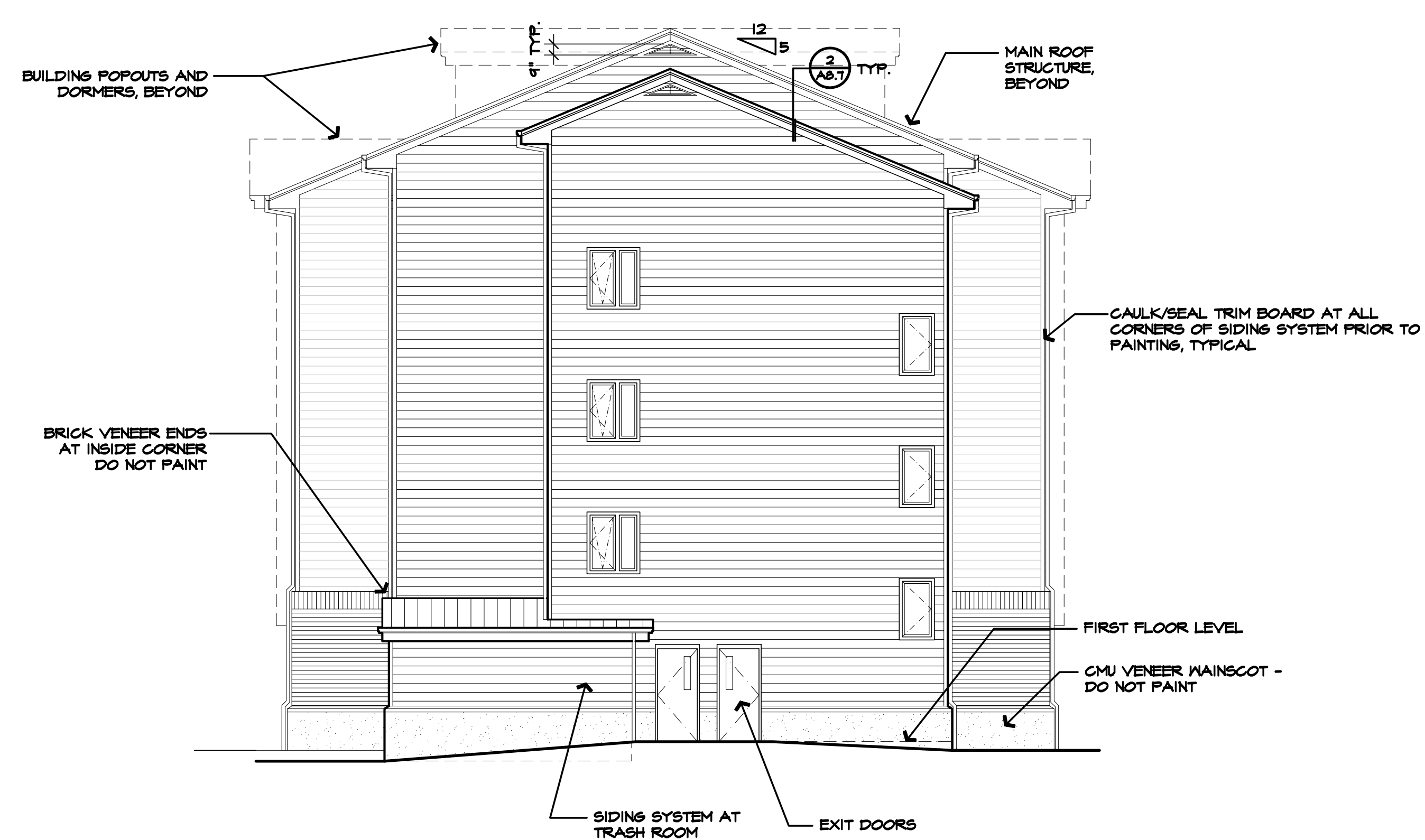
**ELEVATIONS**

PROJECT NO. 21027	DATE 03/15/22
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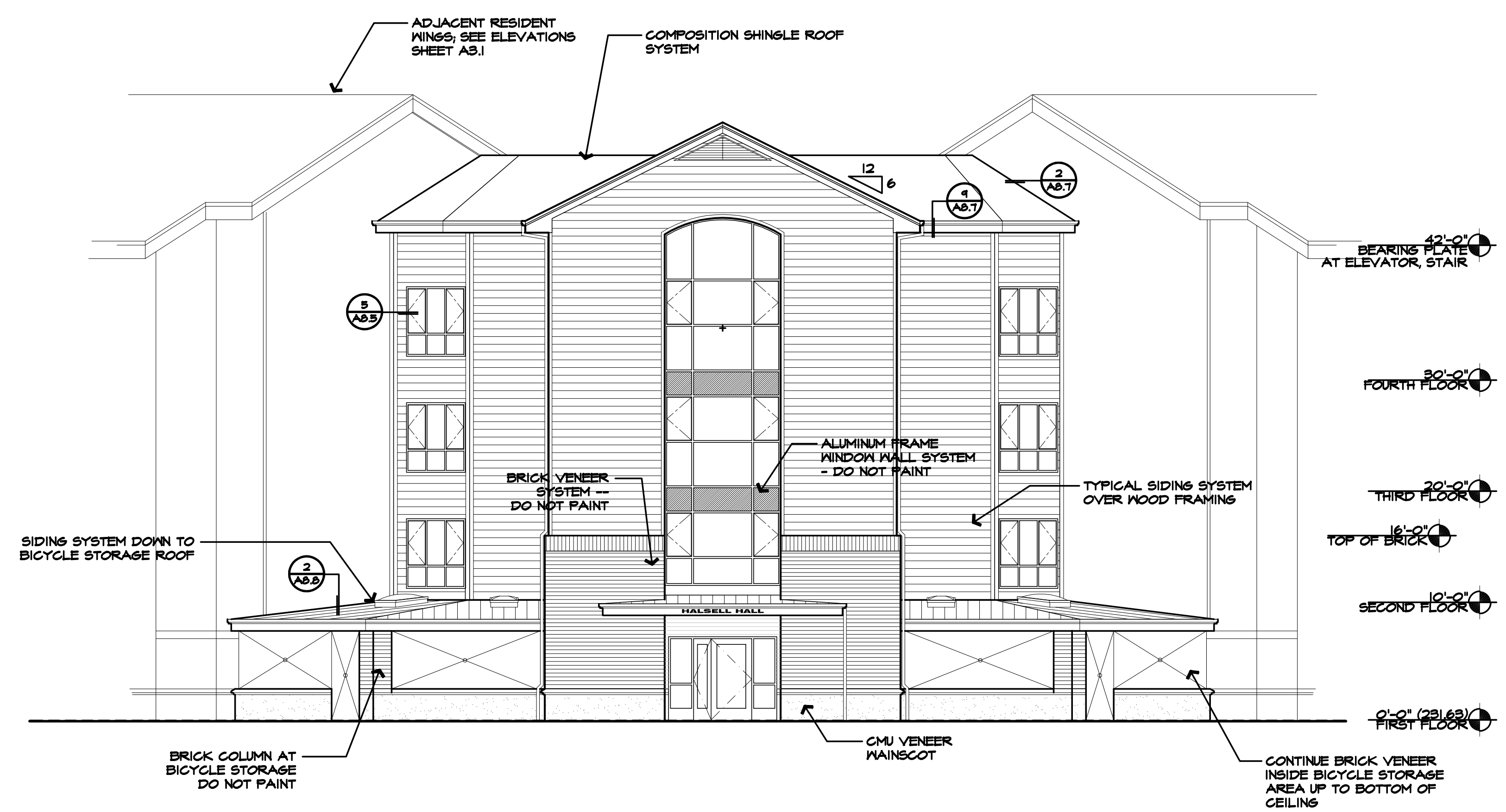
**A3.3**



**1 SOUTH END ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 WEST END ELEVATION**  
SCALE: 1/8" = 1'-0"



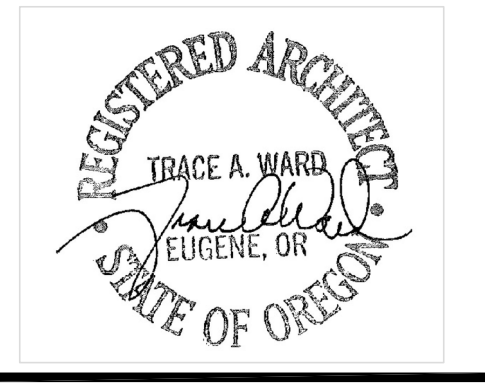
**3 ENTRY ELEVATION**  
SCALE: 1/8" = 1'-0"



1 ENLARGED FIRST FLOOR KNUCKLE PLAN  
 A4.1 SCALE: 1/4" = 1'-0"



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ENLARGED FIRST  
 FLOOR PLAN  
 "KNUCKLE"

PROJECT NO. 21027	DATE 03/15/22
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A4.1



**GENERAL NOTES:**

NEW FLOORING INSTALLATION OCCURS AT ALL UNITS. FLOORING AT COMMON AREAS IS EXISTING TO REMAIN.

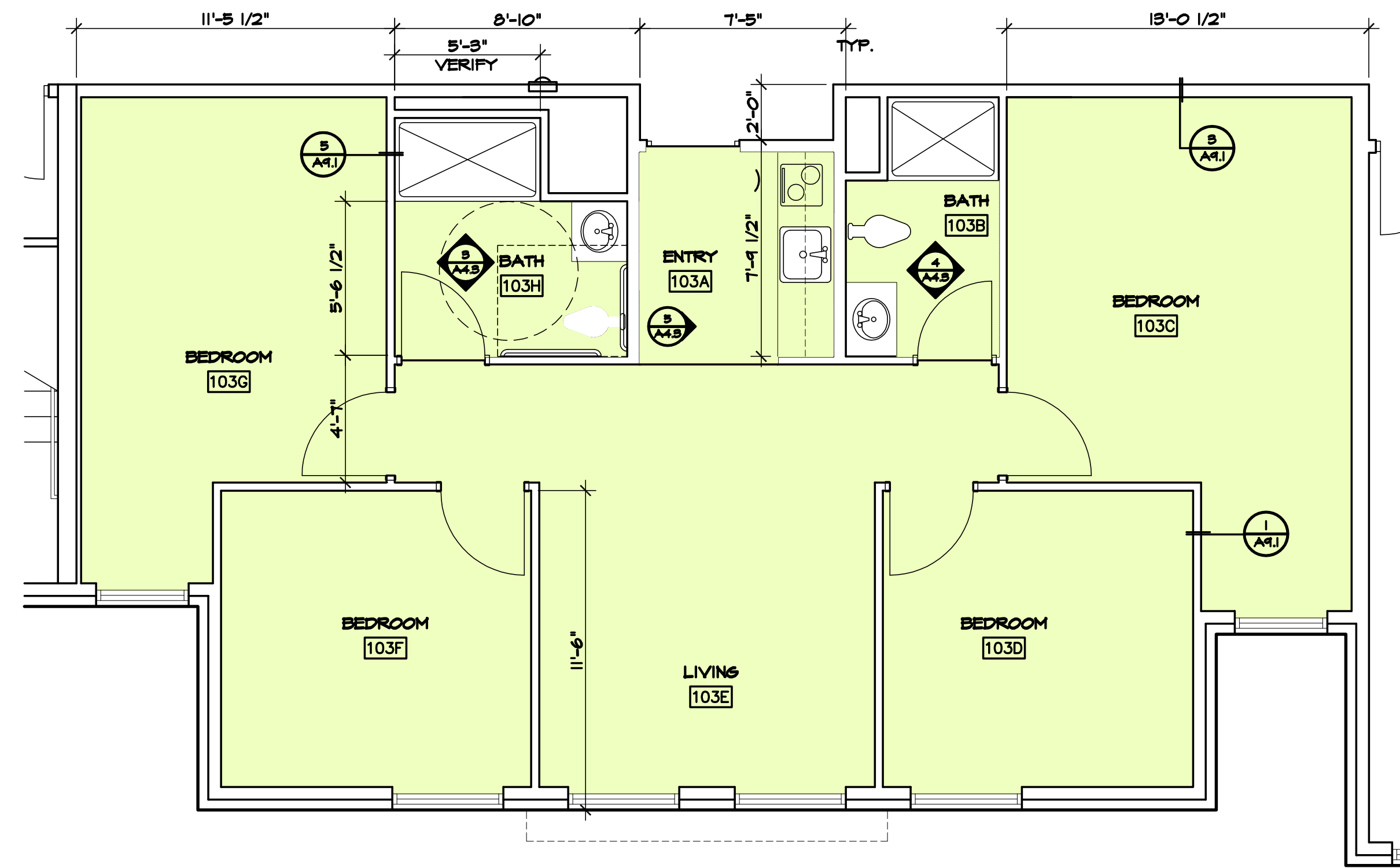
PROTECT (E) BUILDING SURFACES, FROM DAMAGE. REPAIR ANY DAMAGE TO AREAS DURING WORK.

BUILDING DIMENSIONS AND SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VISIT THE SITE, AND SHALL VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO BIDDING.

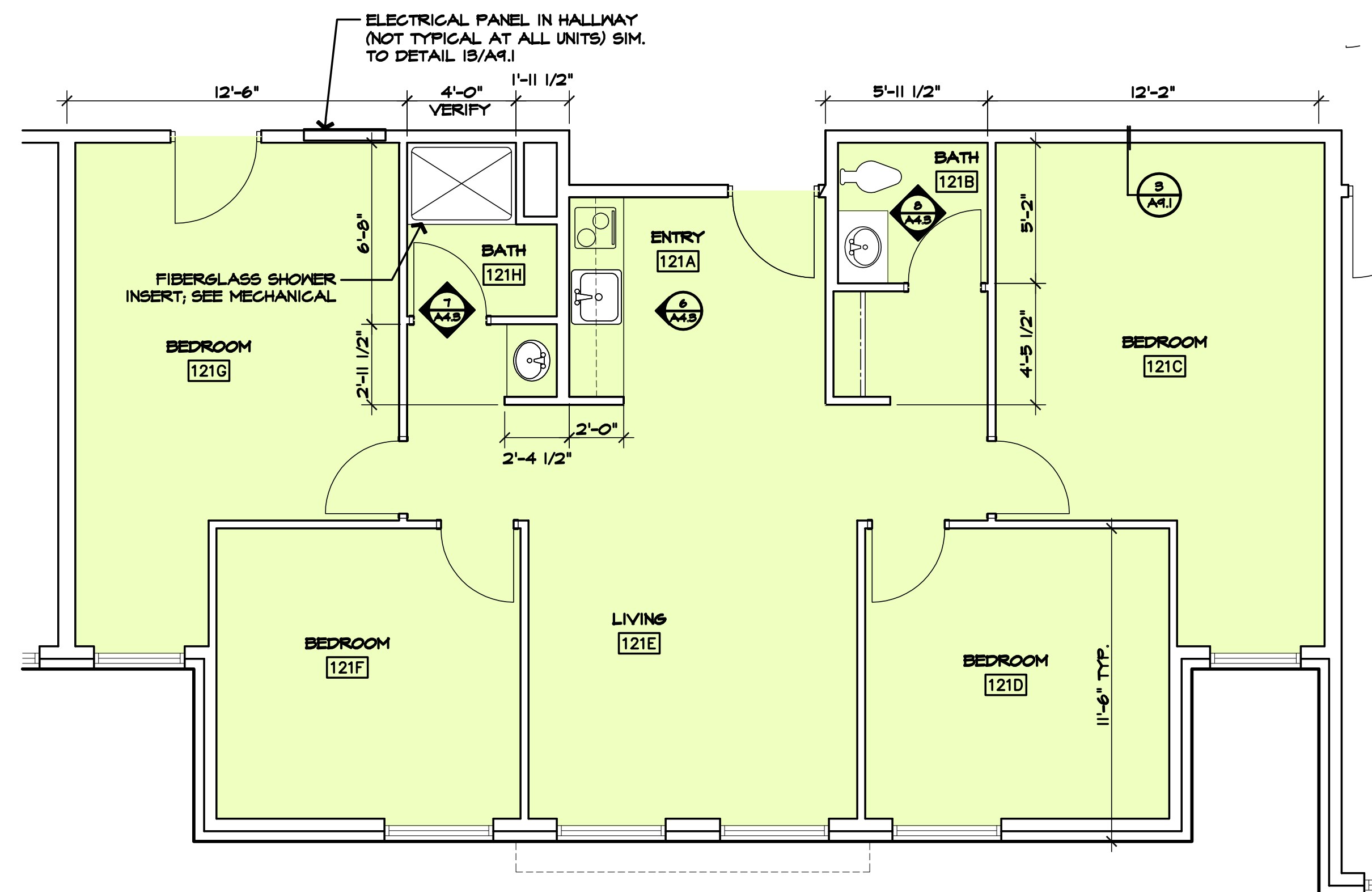
EXISTING FLOORING TO BE REMOVED IS VGT AND SHEET VINYL.

PREP FOR NEW FLOORING INSTALLATION SHALL INCLUDE A MINIMUM OF A 3-PASS SKIM COAT. NOTIFY OWNER AND ARCHITECT OF ANY UNDERLAYMENT THAT REQUIRES REPLACEMENT.

PROVIDE UNIT PRICE FOR REPLACEMENT OF PLYWOOD UNDERLAYMENT PER 4X8 SHEET.



1  
A4.3  
**TYPICAL FOUR BEDROOM UNIT WITH ACCESSIBLE BATHROOM**  
SCALE: 1/4" = 1'-0"  
REFERENCE NORTH



2  
A4.3  
**TYPICAL FOUR BEDROOM UNIT**  
SCALE: 1/4" = 1'-0"  
REFERENCE NORTH

**GENERAL NOTES:**

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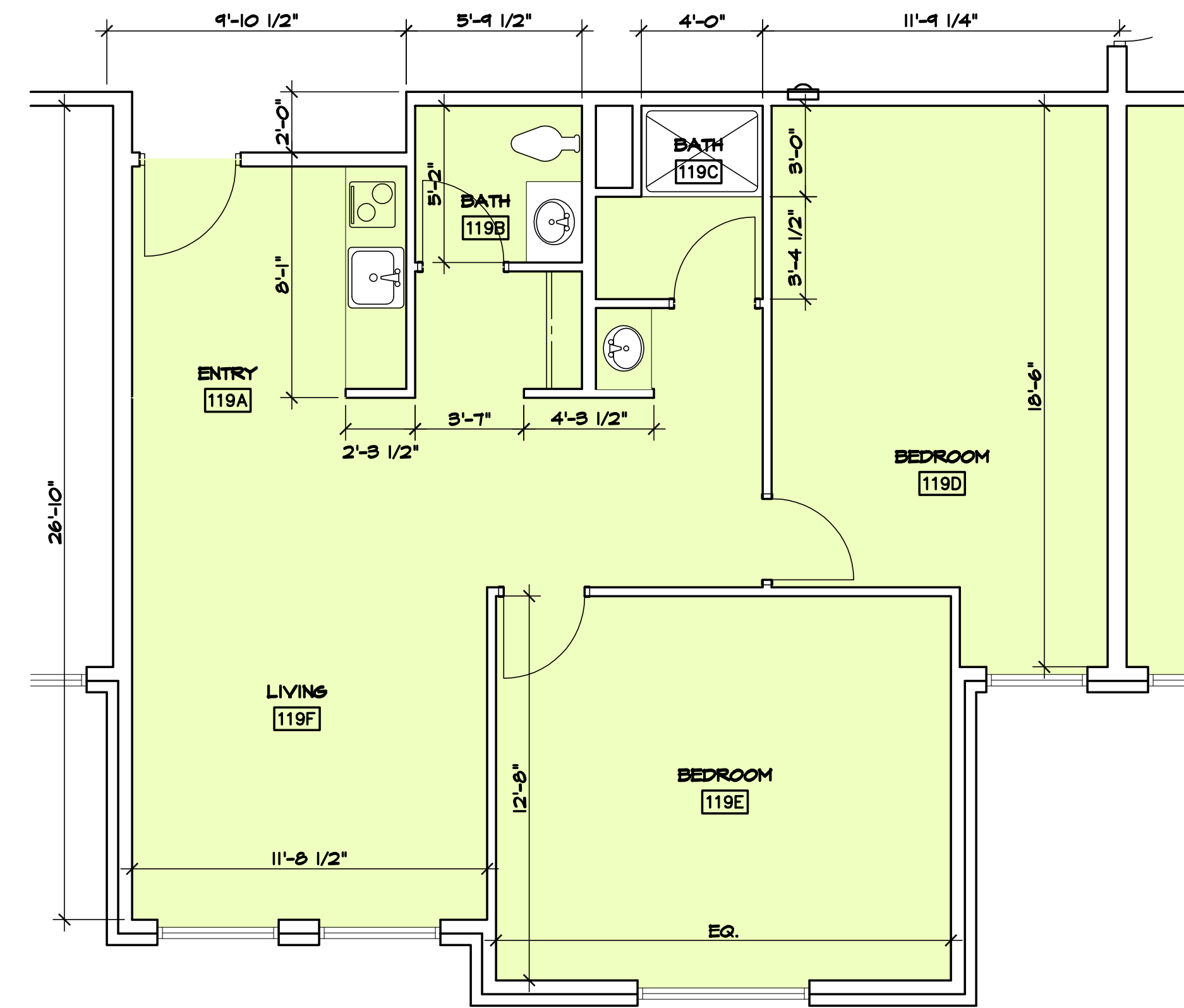
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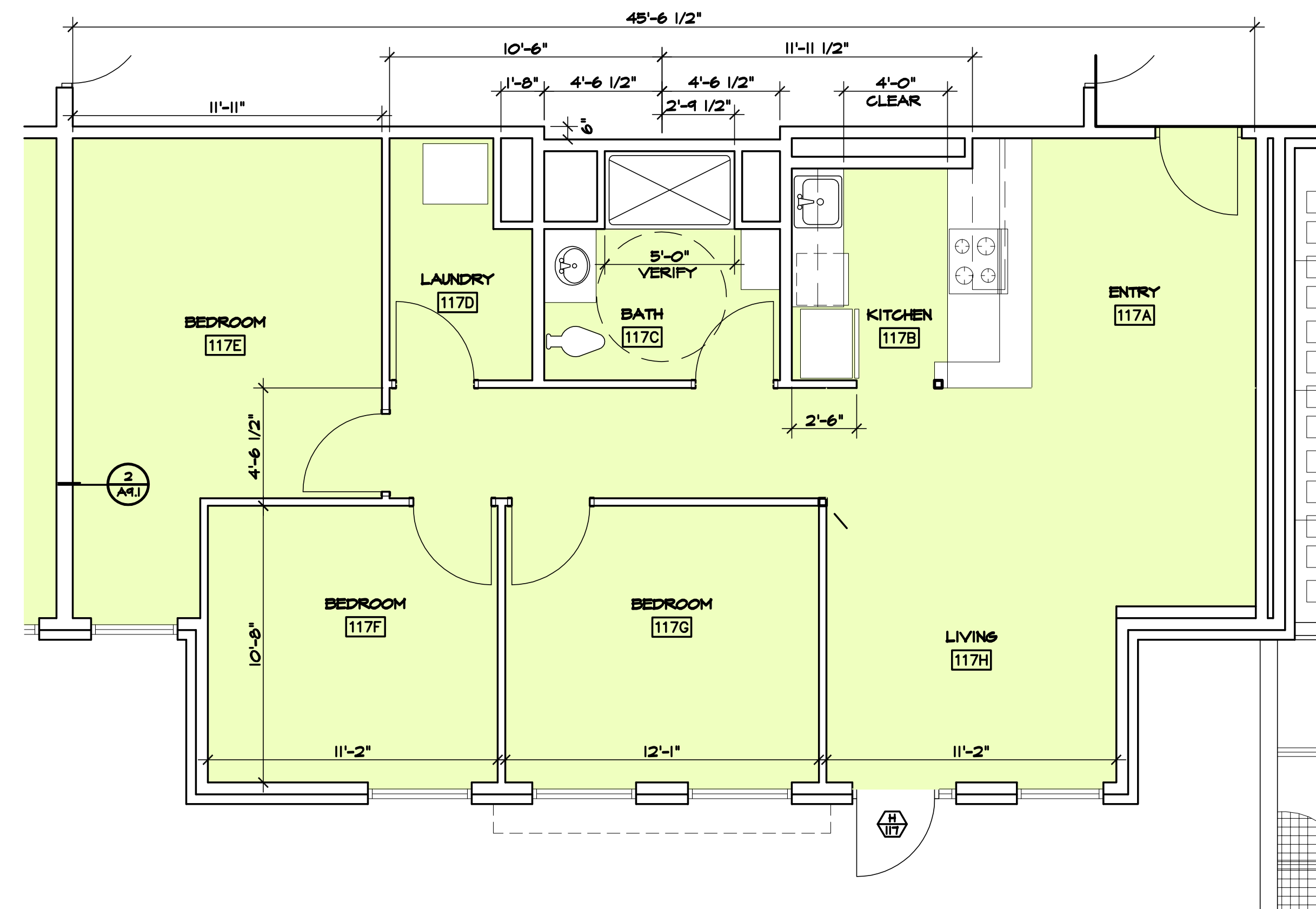
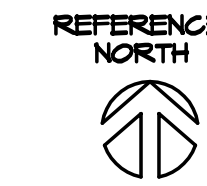
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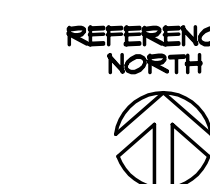
PROVIDE UNIT PRICE FOR REPLACEMENT OF PLYWOOD UNDERLAYMENT PER 4X8 SHEET.



1  
A4.4 TYPICAL TWO BEDROOM UNIT  
SCALE: 1/4" = 1'-0"



2  
A4.4 HALL DIRECTOR'S UNIT  
SCALE: 1/4" = 1'-0"



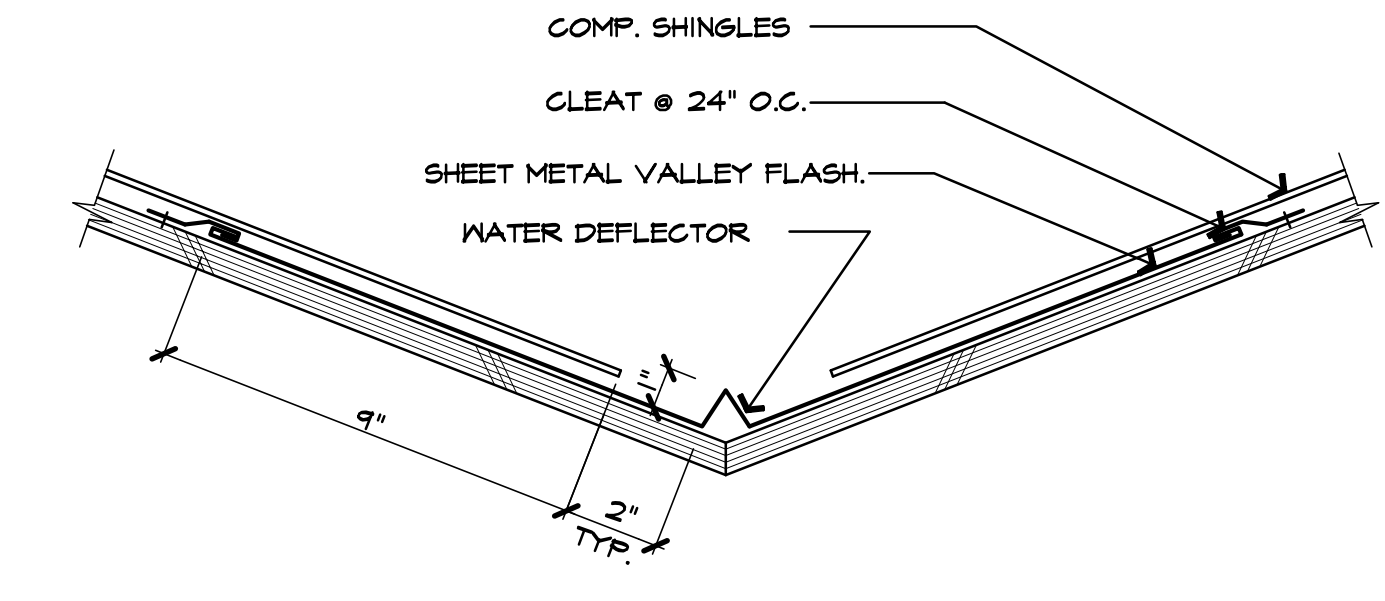


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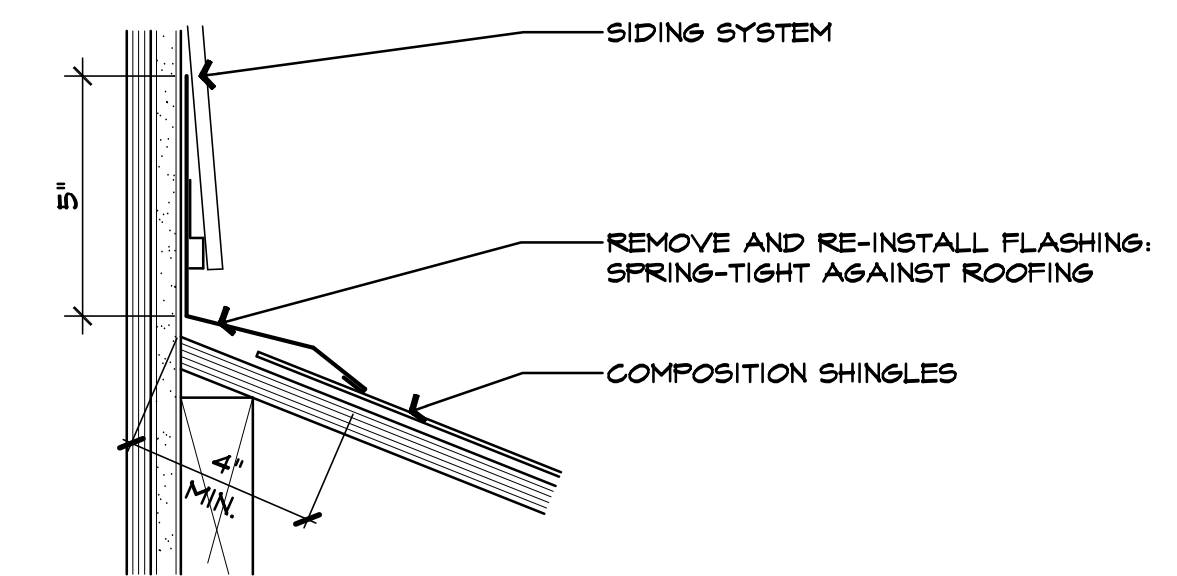
**BASE BID ROOF DETAILS**

PROJECT NO.	DATE
21027	03/15/22

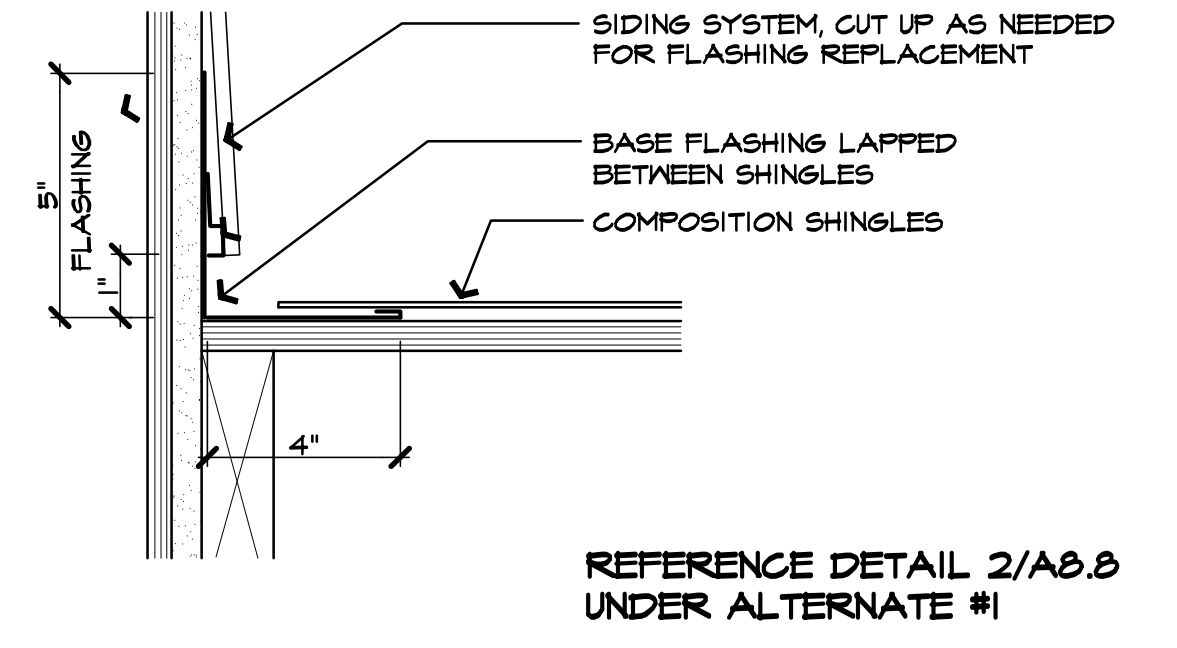
**A8.7**



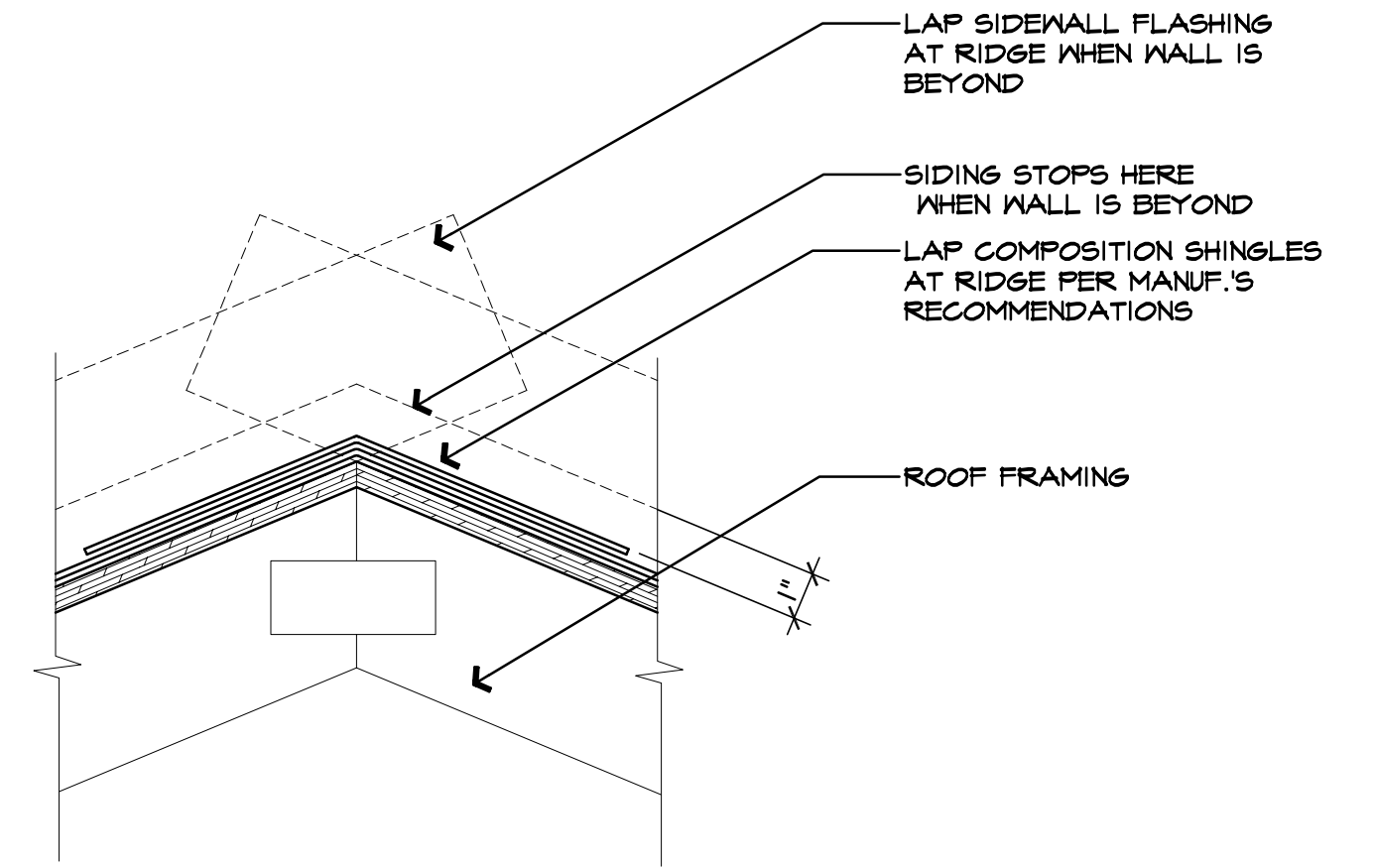
**4 VALLEY FLASHING**  
SCALE: 3" = 1'-0"



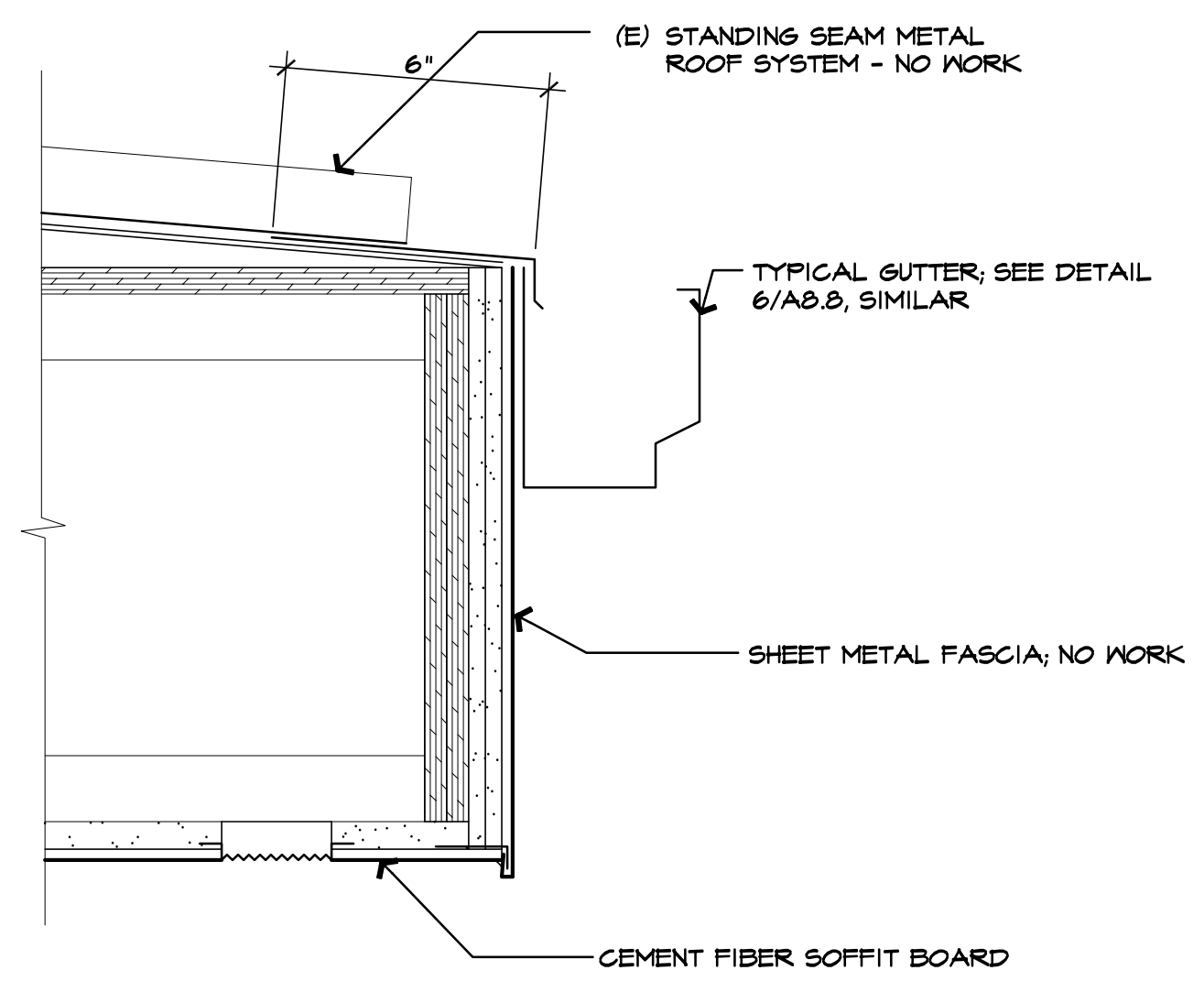
**3 FLASHING AT SIDING/ROOFTOP**  
SCALE: 3" = 1'-0"



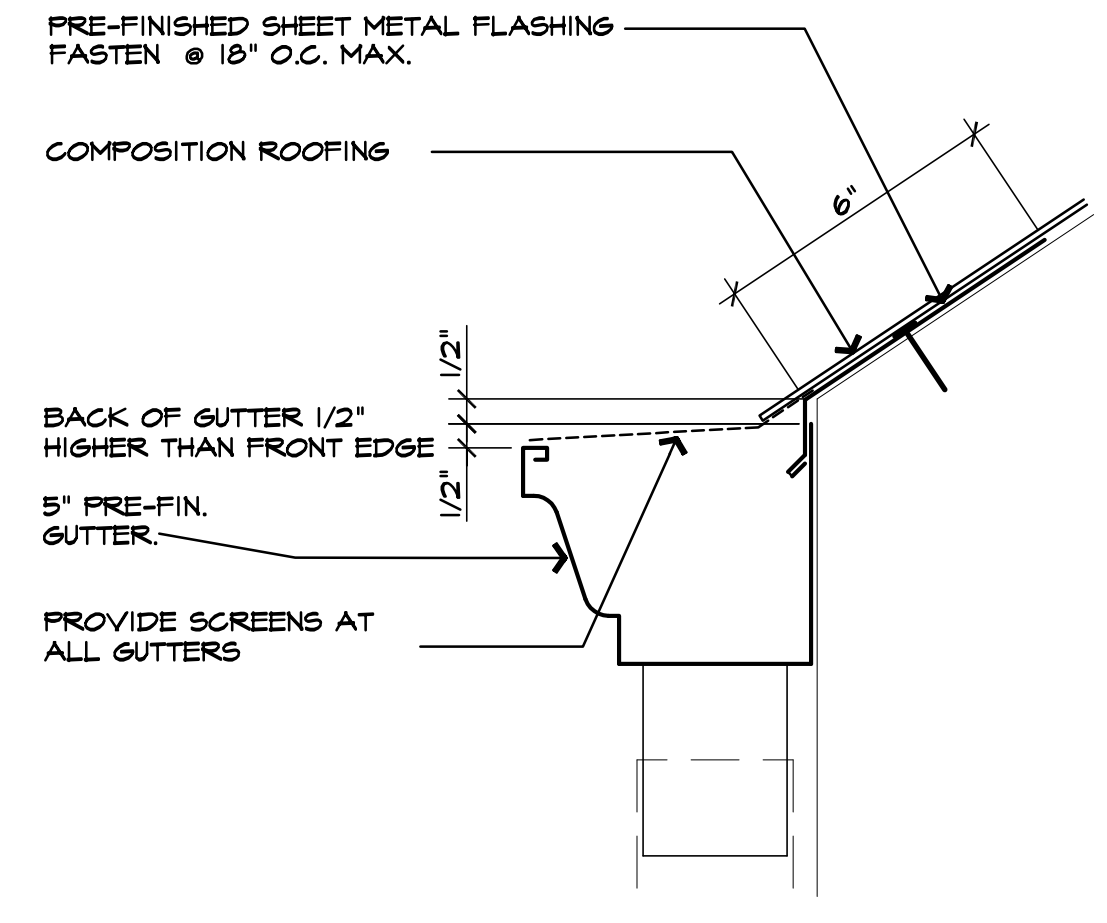
**2 SIDEWALL FLASHING AT SIDING**  
SCALE: 3" = 1'-0"



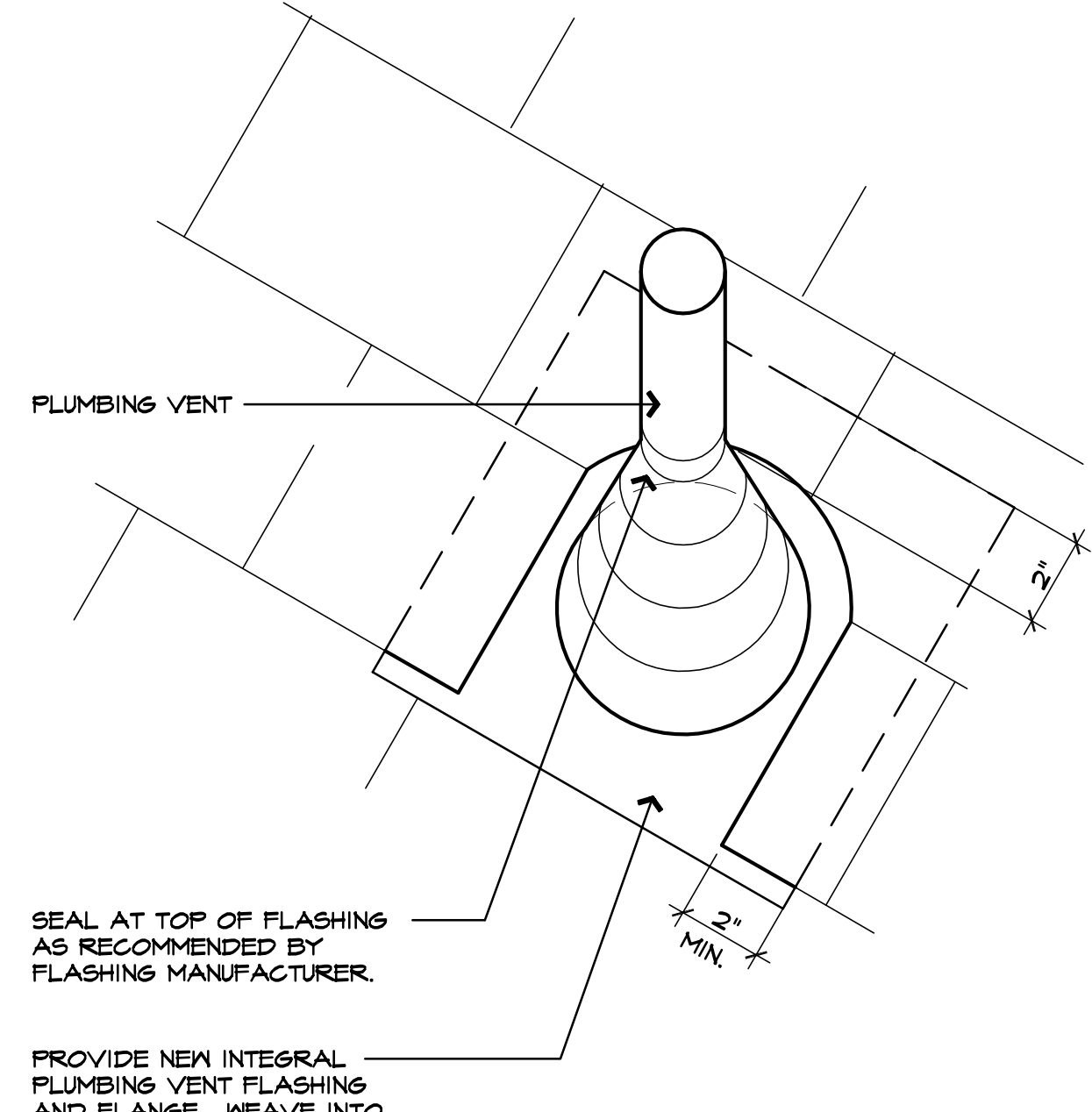
**1 RIDGE DETAIL**  
SCALE: 3" = 1'-0"



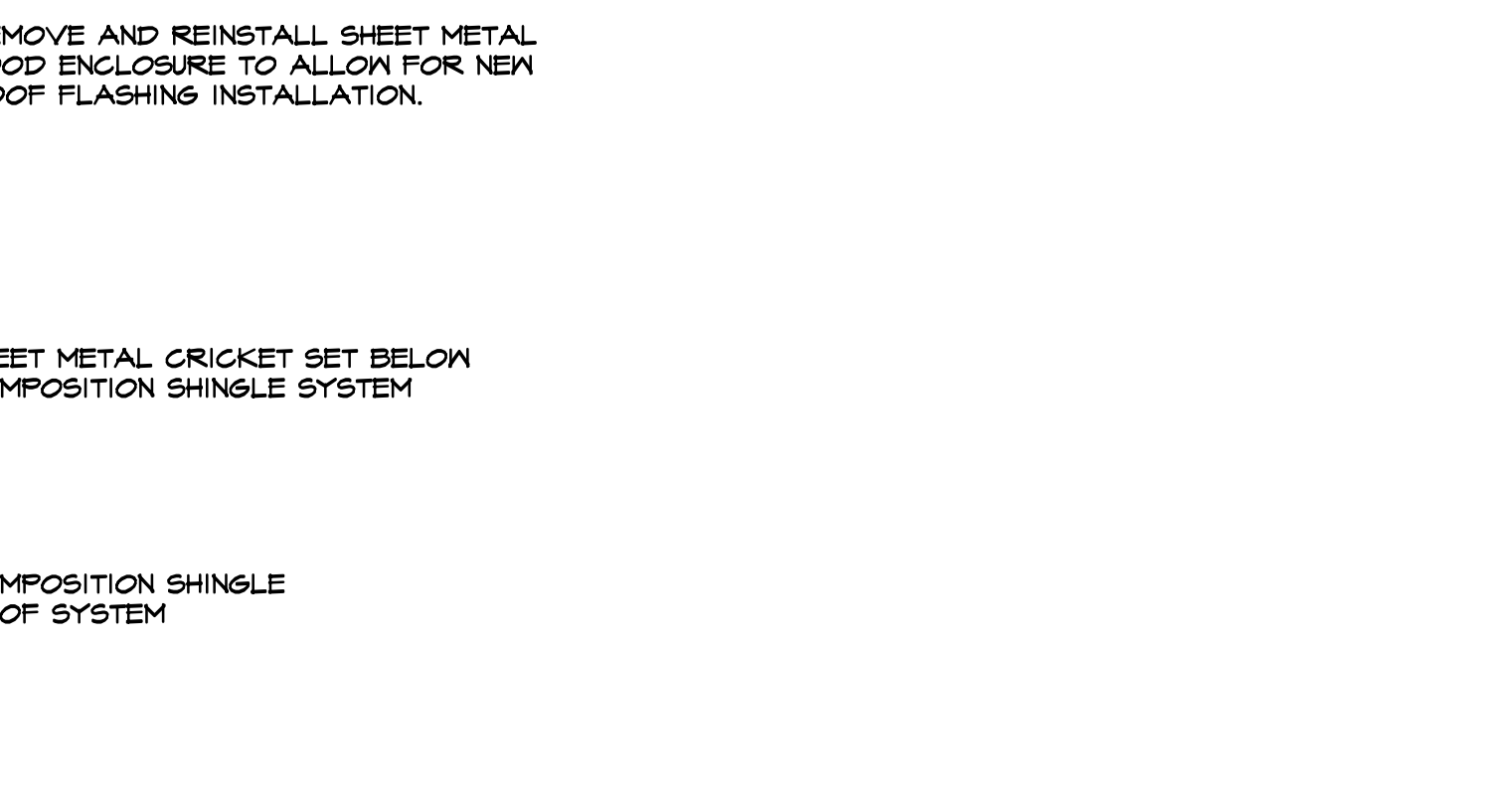
**7 ENTRY CANOPY FASCIA**  
SCALE: 3" = 1'-0"



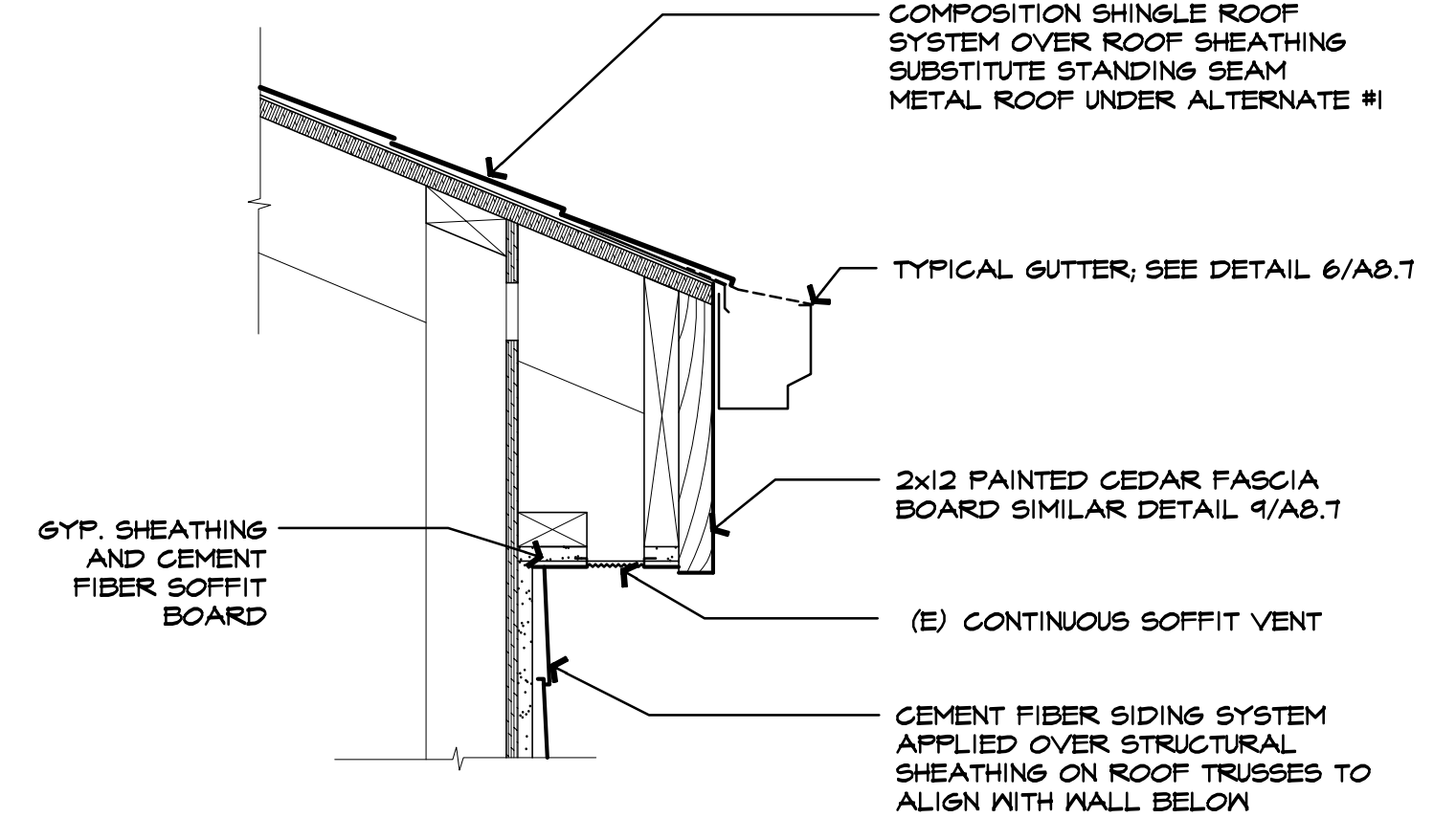
**6 GUTTER AT ROOF EDGE**  
SCALE: 3" = 1'-0"



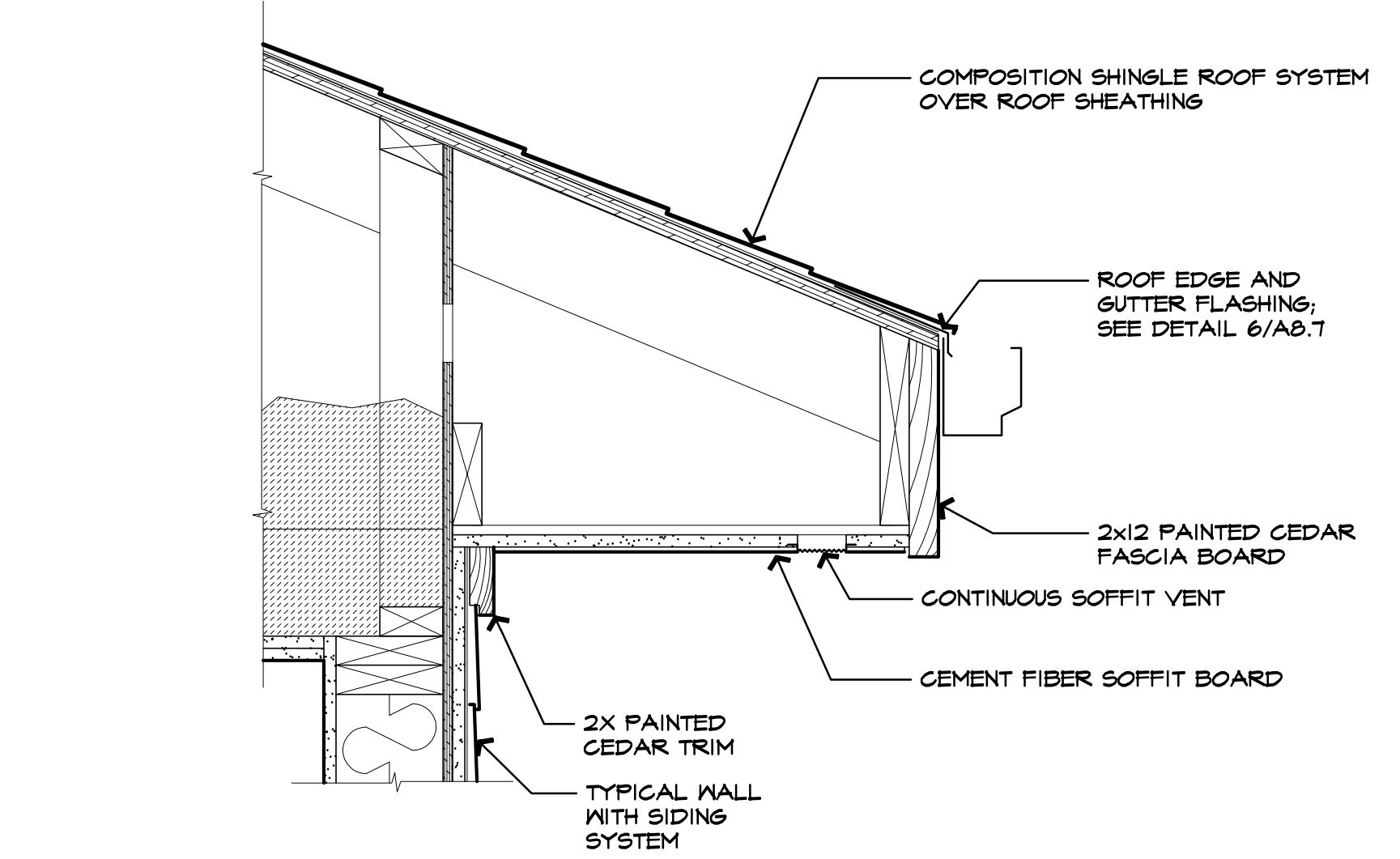
**5 PLUMBING VENT - COMP. ROOF**  
SCALE: NO SCALE



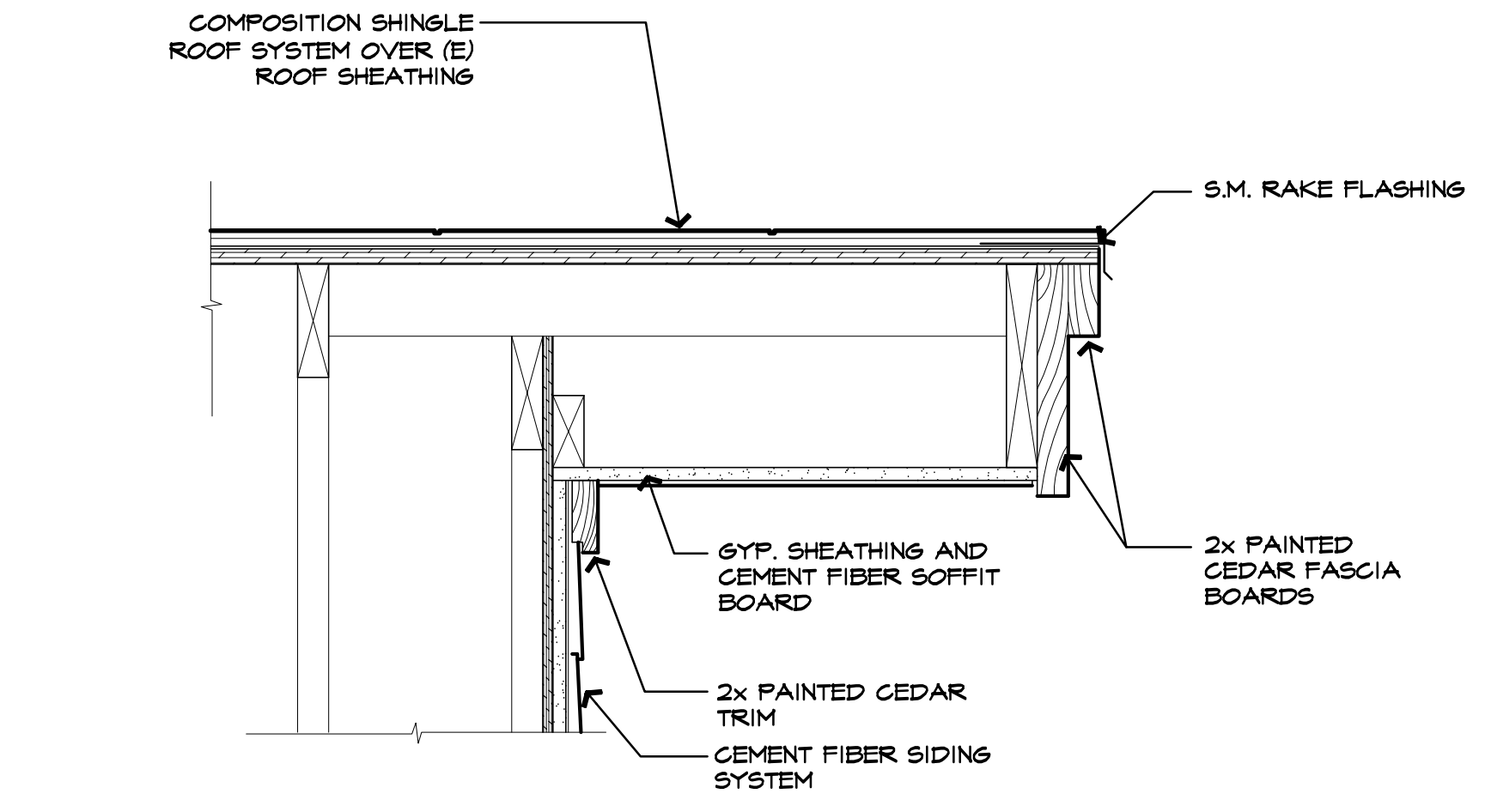
**14 EXHAUST VENT DETAIL**  
SCALE: 1-1/2" = 1'-0"



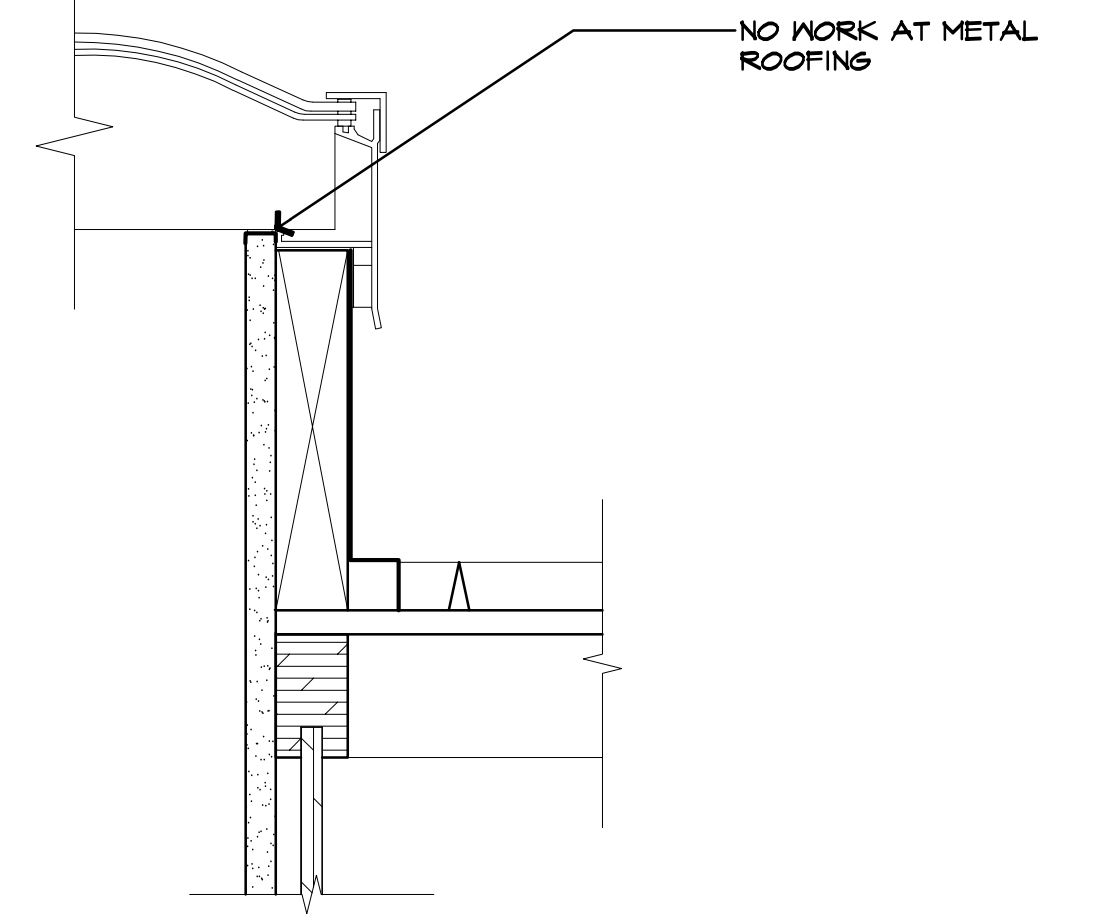
**10 RECESSED SHORT EAVE**  
SCALE: 1-1/2" = 1'-0"



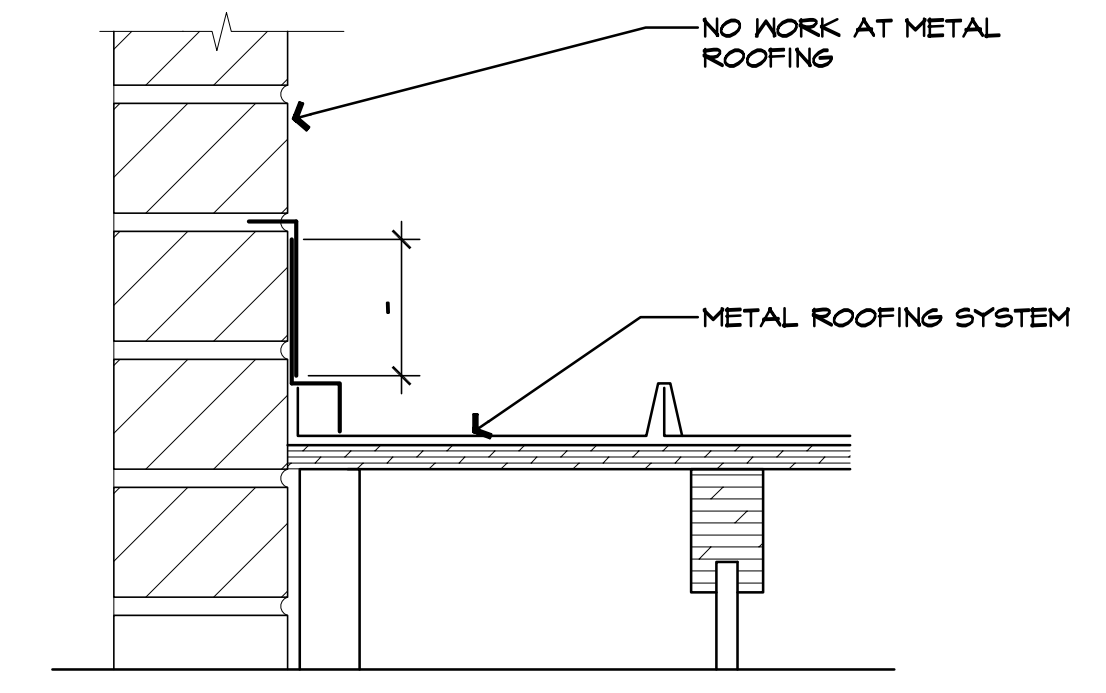
**9 TYPICAL EAVE DETAIL**  
SCALE: 3" = 1'-0"



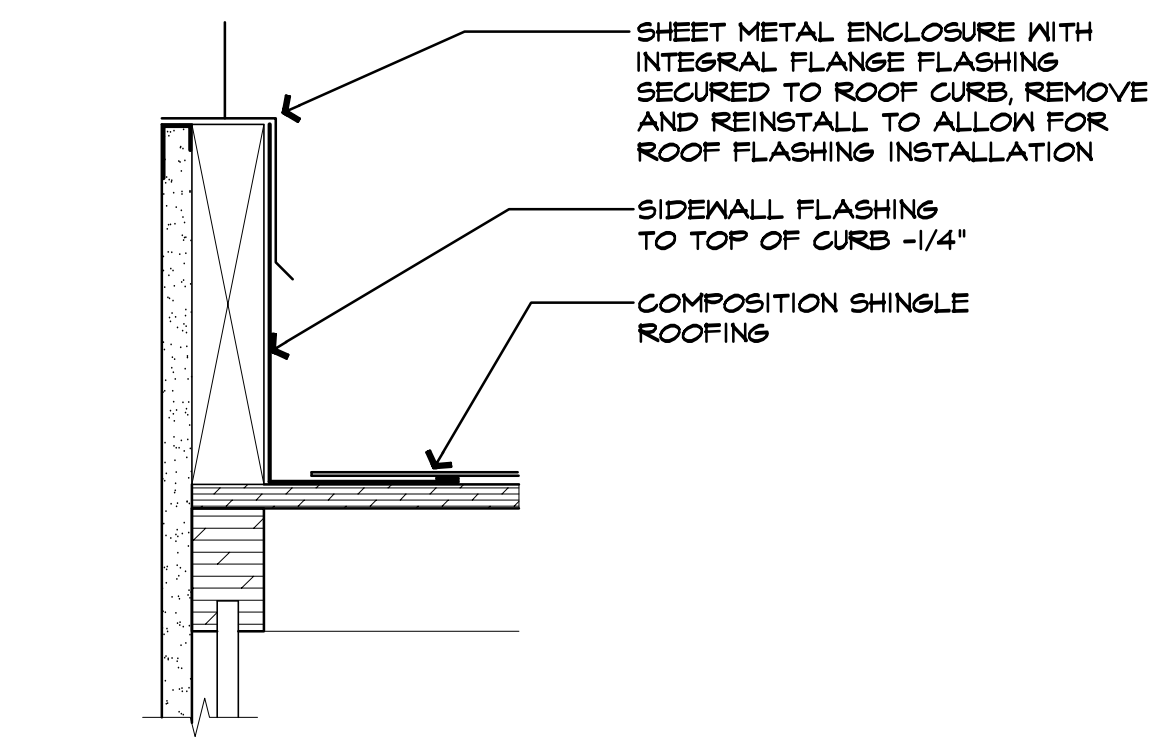
**8 GABLE EDGE**  
SCALE: 1-1/2" = 1'-0"



**13 SKYLIGHT DETAIL**  
SCALE: 3" = 1'-0"



**12 SIDEWALL FLASHING AT BRICK**  
SCALE: 3" = 1'-0"



**11 SIDE WALL AT MECHANICAL PENETRATION**  
SCALE: 3" = 1'-0"