

UNIVERSITY OF OREGON

HENDRICKS HALL EXTERIOR RESTORATION PROJECT 2013

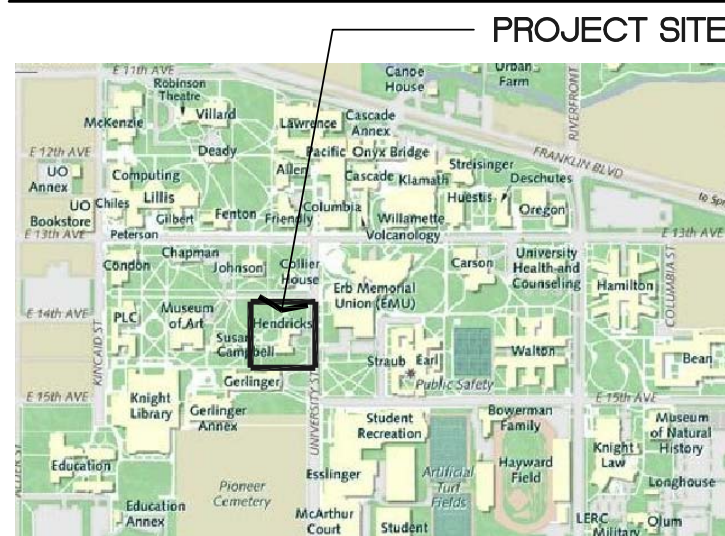
EUGENE, OREGON



SODERSTROM ARCHITECTS
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CAMPUS VICINITY MAP



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UNIVERSITY OF OREGON
 HENDRICKS HALL
 EXTERIOR RESTORATION 2013

DRAWN: TWW
 JOB NO: 09073
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A0

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SCOPE OF RESTORATION – BASE BID (ALL NOTES ARE TYP. AT ALL CONDITIONS)

A Brick Walls:

- Remove and dispose all plant growth from all exterior surfaces.
- Clean brick per approved test method selected by architect and owner; collect and dispose of water runoff to comply with UO brick wash guidelines and City of Eugene regulations.
- Replace all spalled, cracked and missing brick with new or salvaged brick to match existing color and texture. Seventy (75) bricks to be replaced.
- Re-point Five Thousand Five Hundred (5,500) SF of brick mortar per percentages of surface area depicted on elevation drawings and indicated in scope of work.
- Re-point brick mortar on the back side of all gable end parapet walls at 100% of surface area.
- Re-point brick mortar around all openings at a rate of 75%, back a minimum of one brick course.
- Re-point brick mortar 40% inside all window wells.
- Clean vegetation and paint splatter off brick surfaces and apply clear water repellent coating.
- Apply anti-graffiti coating to all the vertical brick surfaces up to the top of the second floor level minimum.

B Concrete:

- Remove and dispose all plant growth from all exterior surfaces.
- Repair all broken and spalled areas as required. Fifty (50) SF of spalled or broken concrete.
- Apply epoxy injection to all cracks and repair skim coat.
- Clean brick per approved test method selected by architect and owner; collect and dispose of water runoff to comply with UO brick wash guidelines and City of Eugene regulations.
- Clean vegetation off concrete surface and apply clear water repellent coating.
- Apply anti-graffiti coating to all the concrete vertical surfaces up to the top of the second floor level minimum.

C Mansard Roof Areas and Dormer sidewalls:

- Owner to contract abatement of the existing asbestos shingles and weather barrier down to plywood sheathing. This is to include the removal and disposal of all flashings, sealants, and removal of contaminated moss in gutters and on shingles.
- GC to remove and dispose of existing plywood sheathing down to the mansard framing members.
- Install new framing strengthening clips and new 1/2" plywood sheathing.
- Install new cedar shingles, self adhesive membrane, underlayment and new copper flashing.
- Install new copper flashing where top of mansard roof area ties into roof area A.
- Install new cont. copper side wall flashing at the back side of gable end walls to cover new copper step flashings and existing reglet flashing.
- Caulk shingle to trim conditions at dormer sidewalls.
- Remove and replace all rotten and missing wood trim to match existing profile where required.
- Remove loose paint by scraping and collect paint scrapings for disposal by Owner.
- Fill imperfections, gaps, voids and sand to match profile.
- Clean, prep, prime and paint wood surfaces as specified.

D Built-in Gutters:

- Remove and dispose of all tin linings from gutters. GC to salvage and recycle tin gutter liners.
- Install self adhered membrane and slip sheet under all gutter liners lap under roofing felt or building paper.
- Install new copper gutter liners in eaves. Provide shims under copper gutters to produce positive drainage to leader boxes, so not to have any ponding water. Conduct water test to verify positive drainage. UO and or Architect to view water test at all gutters.
- Provide new copper leaders from new concealed copper gutter liner to existing leader boxes. Paint wood trim color.
- Flush out existing cleanout after removal of downspout ends. Block downspouts and clean outs so debris does not plug.
- Remove all existing downspouts down to cleanouts; install new pre-finished downspouts to match existing size and color, do not taper, and terminate into existing cleanouts.

E Wood Cornice, Eaves and Rakes:

- Remove existing tin coping and flashings at cornices, and eaves. GC to salvage and recycle tin flashing.
- Remove and replace all deteriorated or missing sections of wood cornice, eaves, rakes, and trim to match existing profile. One hundred fifty (150) board feet (BF) of deteriorated wood sections to be replaced. Contractor to collect and dispose.
- Remove loose paint by scraping and collect paint scrapings for disposal by Owner.
- Fill imperfections, gaps, voids and sand to match profile.
- Clean, prep, prime and paint new and existing cornice, eave, rakes and trim to match wood trim color.
- Install new copper coping and flashings at cornices, eaves, and rakes.

F Window/ Doors:

- Remove, repair and replace all deteriorated or missing sections of wood frames, trim, sashes, and sills to match existing profile. Fifty (50) board feet (BF) of deteriorated wood sections to be replaced. Contractor to collect wood and dispose.
- Remove loose paint by scraping and collect paint scrapings for disposal by Owner.
- Fill imperfections, gaps, voids and sand to match profile.
- Remove and dispose of existing perimeter sealant. Install new perimeter sealant around all window and door frames.
- Contractor to remove and replace Two Thousand Five Hundred (2,500) LF of loose or damaged glazing compound from exterior windows with new glazing compound per percentages indicated on drawings.
- Scrape, clean, prep, prime and paint all exterior wood elements with two (2) coats minimum to match wood trim color.
- Scrape, clean, prep, prime and paint all exposed steel lintels at all heads conditions with two (2) coats minimum to match wood trim color.
- Remove and replace all broken or cracked glass. Five (5) window panes to be replaced.
- Remove and replace all broken window screens.
- Remove and replace all window broken hardware; ropes, counter weights and latches to match existing. Ten (10) complete sets of hardware replacements.
- Weatherize all windows with copper spring weather stripping at sash bottom rail.
- Apply wax coat or teflon coating to window tracks and door jambs to help prevent dried paint from fusing together.

G Screens, Metal Grates and Fire Escapes :

- Remove loose paint by scraping and collect paint scrapings for disposal by Owner.
- Clean, prep, prime and paint to match wood trim color.

H Metal Guardrails, Handrail and Site Elements:

- Remove loose paint by scraping, collect paint scrapings for disposal by University.
- Clean, prep, prime and paint to match wood trim color, typ.; paint black if existing.
- New wrought iron handrails at wood steps paint or powder coat black.
- Existing bike racks, N.I.C.; Powder Coat UO green. Owner to remove, paint, and re-install.

J Exterior light fixtures :

- Remove and dispose all existing flood light fixtures perched at dormer and gable ends above the fire escapes.
- Stub out existing electrical wires back to closest J-Box, patch and repair wood trim and or brick facade.
- Remove and dispose all existing wall pack light fixtures adjacent to and above the entry doors and install new light fixtures per specification section 26 00 00.
- Light fixtures at the East and West entry canopies to remain.

K Roof Area A and G - Wood Shingles:

- Remove and dispose of existing wood shingles and flashing down to plywood sheathing. Remove and replace all deteriorated plywood decking as required with same thickness. One Hundred Twenty Eight (128) SF to be replaced.
- Install new self adhesive membrane, new underlayment, new fire treated cedar shingles and new copper flashing.
- Install new flashings at ridge, valleys, sidewalls, eaves, penetrations and new coping at gable parapet walls as indicated in drawings.
- Remove existing scuttle and wood curbs down to deck. Install new P.T. wood curb to match existing height and new 7/8" P.T. plywood scuttle, SAM, slip sheet and new copper cover hood and cricket with soldered seams.
- Roof area G - Install new wood famed cricket with single ply membrane finish lapping into new copper scupper/ diverter to leader box.

L Roof Areas B, D, E1, E2, E3 and F - Asbestos Shingles:

- Owner to contract abatement of the existing asbestos shingles, weather barrier and plywood sheathing down to the mansard framing members. This is to include the removal and disposal of all flashings, sealants, and removal of contaminated moss in gutters and on shingles.
- Install new strengthening clips, new 1/2" plywood sheathing, new self adhesive waterproof membrane, new underlayment, new fire treated cedar shingles and new copper flashings.
- Install new cont. copper side wall flashing at the back side of gable end walls to cover new copper step flashings and existing reglet flashing.

M Roof Areas C and H:

- Remove and dispose of existing metal flashing and single ply membrane system down to plywood decking. Remove and replace all deteriorated plywood decking as required with same thickness. Thirty two (32) SF to be replaced.
- Install new adhered single ply membrane system with new copper flashings.

N Roof Area I:

- Remove and dispose of existing metal flashing and metal roof system and sheathing down to framing.
- Install new 1/2" plywood sheathing, new self adhesive membrane, new slip sheet, new pre-finished standing seam metal roof system with new pre-finished flashings, gutter and downspouts to match existing.

O Garden Brick Wall:

- Refer to sheet A2 for Alternate No. 1 garden wall scope of work



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A0.1

SHEET NO.

GENERAL NOTES

1. THESE DRAWING ARE FOR GENERAL INFORMATION PURPOSES ONLY, NOT A PRECISE AS-BUILT SURVEYED DOCUMENT. ALL BIDDERS SHALL BE RESPONSIBLE FOR THEIR OWN FIELD MEASUREMENTS AND QUANTITY TAKE- OFFS. THIS DOCUMENT DOES NOT CONTAIN DIMENSIONS NECESSARY TO ASCERTAIN EXACT QUANTITIES. THE ACTUAL EXISTING CONDITIONS SHALL PREVAIL WITH REGARDS TO MATERIAL QUANTITIES AND CONDITIONS ENCOUNTERED FOR THIS CONTRACT.
2. UO TESTED WINDOW GLAZING COMPOUND FOR ASBESTOS, RESULTS CAME BACK NEGATIVE FOR ASBESTOS. REPORT INCLUDED IN SPECIFICATION FOR REFERENCE.
3. GC TO SCRAPE AND COLLECT LEAD PAINT. UO TO DISPOSE.
4. REFER TO SPECIFICATION ASBESTOS REPORT AND FOR HOW TO DEAL WITH HAZARDOUS MATERIAL IN A CONTROLLED ENVIRONMENT.
5. GC IS TO PROVIDE SCAFFOLDING FOR THE PROJECT. UO'S ABATEMENT CONTRACTOR TO USE GC'S SCAFFOLDING. GC TO COORDINATE WITH ABATEMENT CONTRACTOR.
6. GC IS RESPONSIBLE FOR PROVIDING A WATER COLLECTION TROUGH TO COLLECT THE BRICK AND CONCRETE CLEANER AND SEALER RUNOFF. GC IS TO PROVIDE AN ADEQUATE STORAGE TANK TO NEUTRALIZE COLLECTED RUNOFF AND COORDINATE WITH AND DISPOSE OF AT THE CITY OF EUGENE WASTEWATER TREATMENT FACILITY. GC IS TO COMPLY WITH UO BRICK WASH GUIDELINES AND CITY OF EUGENE REGULATIONS.
7. MAINTAIN FULL FIRE DEPARTMENT ACCESS TO FDC DURING COURSE OF WORK.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONTAINMENT BARRIER ON THE INTERIOR SIDE OF WINDOW OPENINGS DURING THE COURSE OF SCRAPING OFF LOOSE LEAD PAINT TO PREVENT LEAD SCRAPING AND DUST PARTICLES FROM ENTERING THE BUILDING. GC IS TO PROVIDE PORTABLE A/C UNITS WITH APPROPRIATE EXHAUST IN SPACES WHERE THE WINDOWS ARE INOPERABLE DUE TO THE CONTAINMENT BARRIER.

ALTERNATES:

ADD ALTERNATE NO.1: REPOINT ONLY THE BRICK ON THE GARDEN WALL, STEPS AND PATIO BETWEEN HENDRICKS AND SUSAN CAMPBELL PER PERCENTAGES INDICATED ON DRAWING SHEET A2. DO NO WORK ON CAST CONCRETE CAP, BALUSTRADES, SILL AND DECORATIVE BALLS.

ADD ALTERNATE NO.2: COMPLETE DEMOLITION OF WEST PORCH STAIRCASE AND FOOTINGS. INSTALL NEW CONCRETE FOOTINGS, METAL DECK AND METAL STAIRS WITH CONCRETE FILL, WOOD SHELTER WITH WOOD CORNICE AND SINGLE-PLY ROOF MEMBRANE, GUTTER AND DOWNSPOUTS, METAL HAND AND GUARDRAILS AND RECONFIGURED SPRINKLER SYSTEM PER DRAWING SHEETS A39 - A49 AND STRUCTURAL DRAWINGS.

ADD ALTERNATE NO.3: REMOVE AND DISPOSE OF THE EXSITING LAMP POST, FOOTING, AND ADJACENT J-BOX. PROTECT EXISTING WIRING AT J-BOX FOR NEW LAMP POST. INSTALL THREE (3) NEW LAMP POSTS; ONE (1) AT EXISTING LOCATION AND TWO (2) ADJACENT TO RAMP. PROVIDE ALL APPROPRIATE MATERIALS SUCH AS BUT NOT LIMITED TO; CONCRETE FOOTING, CONDUIT, WIRING, AND J-BOX AS NOTED IN THE SPECIFICATION. REFER TO DRAWING SHEET A1 FOR LOCATIONS AND SPECIFICATION FOR SHOP DRAWINGS.

ADD ALTERNATE NO.4: REMOVE AND DISPOSE OF EXISTING WEST ENTRY WOOD DOOR. SALVAGE ALL EXISTING DOOR HARDWARE FOR RE-USE. INSTALL NEW SOLID CORE WOOD DOOR TO MATCH EXISTING SIZE, PROFILE, SPECIES, NEW WEATHER STRIPPING, AND RE-INSTALL EXISTING DOOR HARDWARE. SEE DRAWING SHEETS A5 AND A9

UNIT PRICES:

REFER TO SPECIFICATION SECTION 01 22 00 UNIT PRICES FOR DESCRIPTION OF WORK PER UNIT PRICE MEASUREMENT INDICATED ON BASE BID TABULATION TABLE IN BID FORM



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SHEET NO.

ASBESTOS CONTENT REFERENCE

(INFORMATION BELOW IS FROM THE ASBESTOS REPORT BY PBS ENGINEERING + ENVIRONMENTAL, FOR FULL REPORT SEE SPECIFICATION)

ASBESTOS MATERIALS

The following materials either tested positive, or, based on the experience of PBS field personnel, were not tested and should be considered asbestos-containing. Materials that had mixed results are considered positive. Materials not sampled may contain asbestos and should be tested to verify asbestos content prior to impact through demolition, renovation, etc.

(+) Tested Positive, (M) Mixed Results, (<1%) One Percent or Less, (P) Presumed Positive, (T) Previously Tested Positive.

Result	Material (type)	Location	Approx. Quantity
(+)	Glued-on Ceiling Tile, 12"x12" Stippled and Scarred / Mastic, Brown	Room 247 and hallway H247.	320 SF
		<i>* Refer to Figure 2.3 for specific material locations. The ceiling tiles do not contain asbestos but are contaminated with asbestos-containing mastic.</i>	
(+)	Floor Tile, 9"x9" Grey with Cream and Black Spatter / Mastic, Black / Tarpaper	Exposed within room 156. Beneath carpet in room 158.	120 SF 120 SF
(+)	Stair Risers, 6" Light Grey / Mastic, Tan / Remnant Mastic, Brown	Within Stairwells S1, and S101.	Unknown
		<i>The stair risers and tan mastic do not contain asbestos but are contaminated with asbestos-containing remnant mastic.</i>	
(+)	Sink Undercoat, Pink	On underside of sink within room 28	1 EA
(+)	Sealant, Green and White	Observed behind flashings on roof.	Unknown
(M)	Joint Compound	Applied at joints in gypsum board wall systems throughout surveyed areas. This material has tested positive with mixed results and when observed, should be sampled before impact.	Unknown
(T)	Pipe Fitting Insulation	Observed on fiberglass insulated piping straight runs in rooms 1, 1B, 4, 6, 6B, 6C, 8, 13, 21, 26D, 131, 133, 238, 322, 330, and Vestibule V26.	110 EA
(T)	Pipe Insulation	Observed on piping straight runs in the crawlspace, in rooms 6, 13, 26, 26A, 26C, 26D, 26E, and in hallway H26.	540 LF
(T)	Transite Roofing Shingles	Observed throughout the building's mansard roof sections.	1475 SF

MATERIALS PRESUMED TO CONTAIN ASBESTOS / MATERIALS NOT SAMPLED

Bulk sampling of suspect asbestos-containing materials was conducted within the building. Samples were collected of materials that had not been previously sampled, or where results of previously collected samples were unclear or incomplete. In some cases, materials were not sampled based on the amount of damage caused by bulk sampling, limited accessibility, or that were recently installed. Materials not sampled should be presumed to contain asbestos and should be sampled prior to impact. A listing of materials not sampled is as follows:

(1) - Recently installed finish, (2) - Sampling will damage the material, (3) - Inaccessible material

Material	Location / Reason for Presumption
Duct Joint Tape	On air units and associated ductwork throughout the attic space.(2)
Mechanical Isolation Cloth	On air units throughout the attic space.(2)
Nailed-On Wood Paneling, Various rooms 4 and 6C.(2)	Walls within stairwells S1 and S101, and Heights Painted Multi-Colors
Hardwood Flooring / Vapor Barrier	Hallway H100 and rooms 100, 101, 104, and 132.(2)
Ceramic Tile, 4" x 4" Red / Grout / Mastic	Within restrooms 124, 126, 224, 227, 324, 327, and restroom vestibule V126.(2)
Ceramic Base, 6" Red / Grout / Mastic	Within restrooms 124, 126, 224, 227, 324, 327, and restroom vestibule V126.(2)
Glue Down Carpet Squares / Mastic, Clear	Room 158.(1)
Wood Paneling / Mastic	Room 235.(2)

MATERIALS WHICH TESTED NEGATIVE FOR ASBESTOS

Refer to Asbestos Report in Specification.



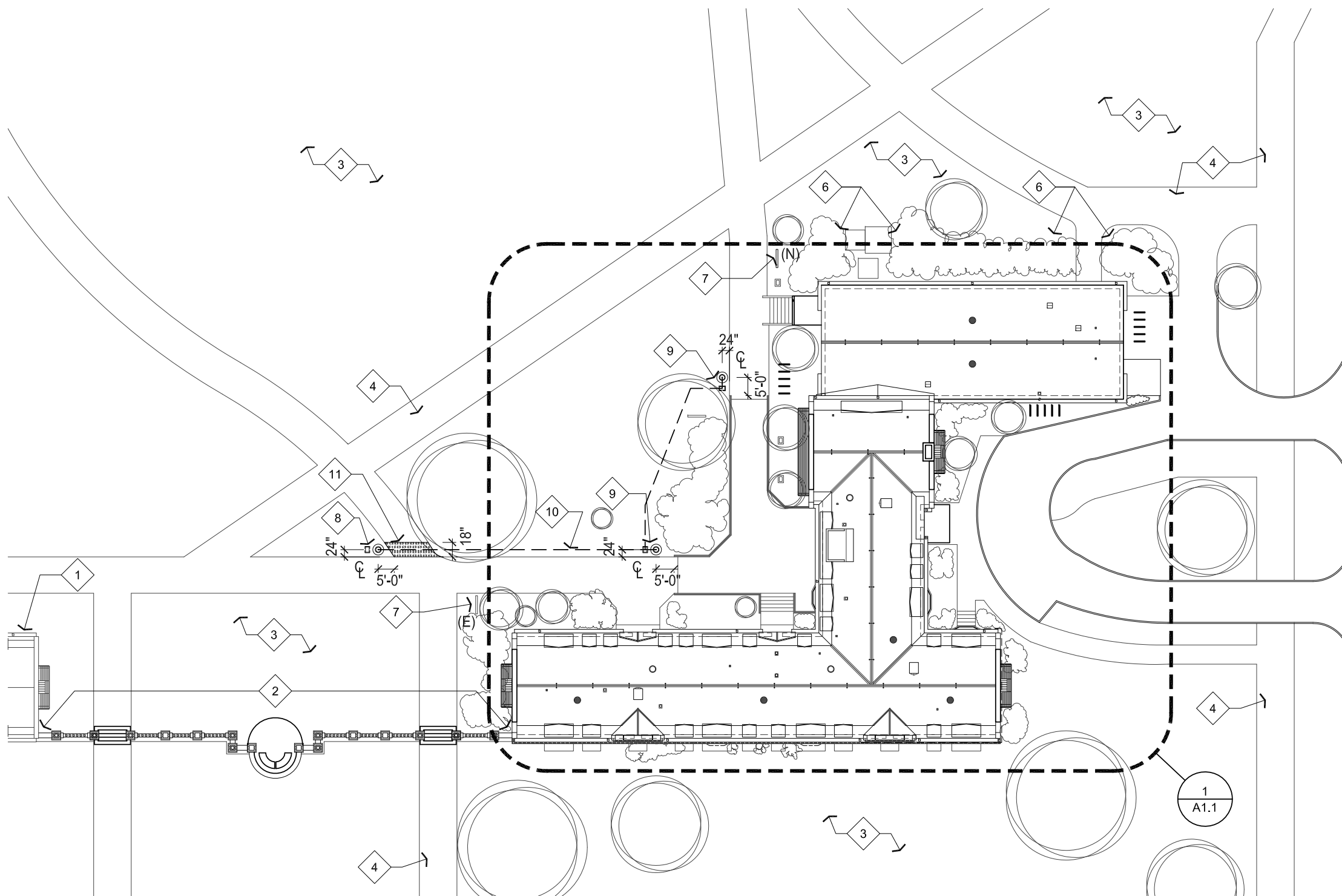
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A0.3

SHEET NO.



KEYNOTES

- 1 SUSAN CAMPBELL HALL
- 2 ADD ALTERNATE #1 - GARDEN WALL - REFER TO SHEET A2 FOR PLAN
- 3 LANDSCAPING, N.I.C.
- 4 SIDEWALK, N.I.C.
- 5 DRIVEWAY, N.I.C.
- 6 ENHANCED LANDSCAPE BUFFER AT TRASH DUMPSTER AND AIR UNITS BY OWNER, N.I.C., COORDINATE WITH OWNER
- 7 EXISTING WOOD HENDRICKS SIGN, N.I.C.; TO BE RELOCATED BY OWNER'S EXTERIORS TEAM FROM WEST OF BUILDING TO NW CORNER OF NORTH BUILDING
- 8 EXISTING LAMP POST AND J-BOX TO BE REMOVED AND REPLACED WITH NEW. SEE ADD ALTERNATE #3.
- 9 NEW LAMP POST AND J-BOX; SEE ADD ALTERNATE #3.
- 10 NEW CONDUIT RUNS FOR POWER TO NEW LAMP POST (DASHED LINE); CONNECT POWER RUNS FROM EXISTING LAMP POST TO BE REPLACED; COORDINATE WITH OWNER'S EXTERIORS TEAM TO PROTECT LANDSCAPING PRIOR TO INSTALLATION. SEE ADD ALTERNATE #3.
- 11 CUT EXISTING AC ALONG EXISTING SEAM, PROVIDE TRENCH FOR NEW ELECTRICAL CONDUIT BETWEEN NEW J-BOXES; PATCH AC. SEE ADD ALTERNATE #3.



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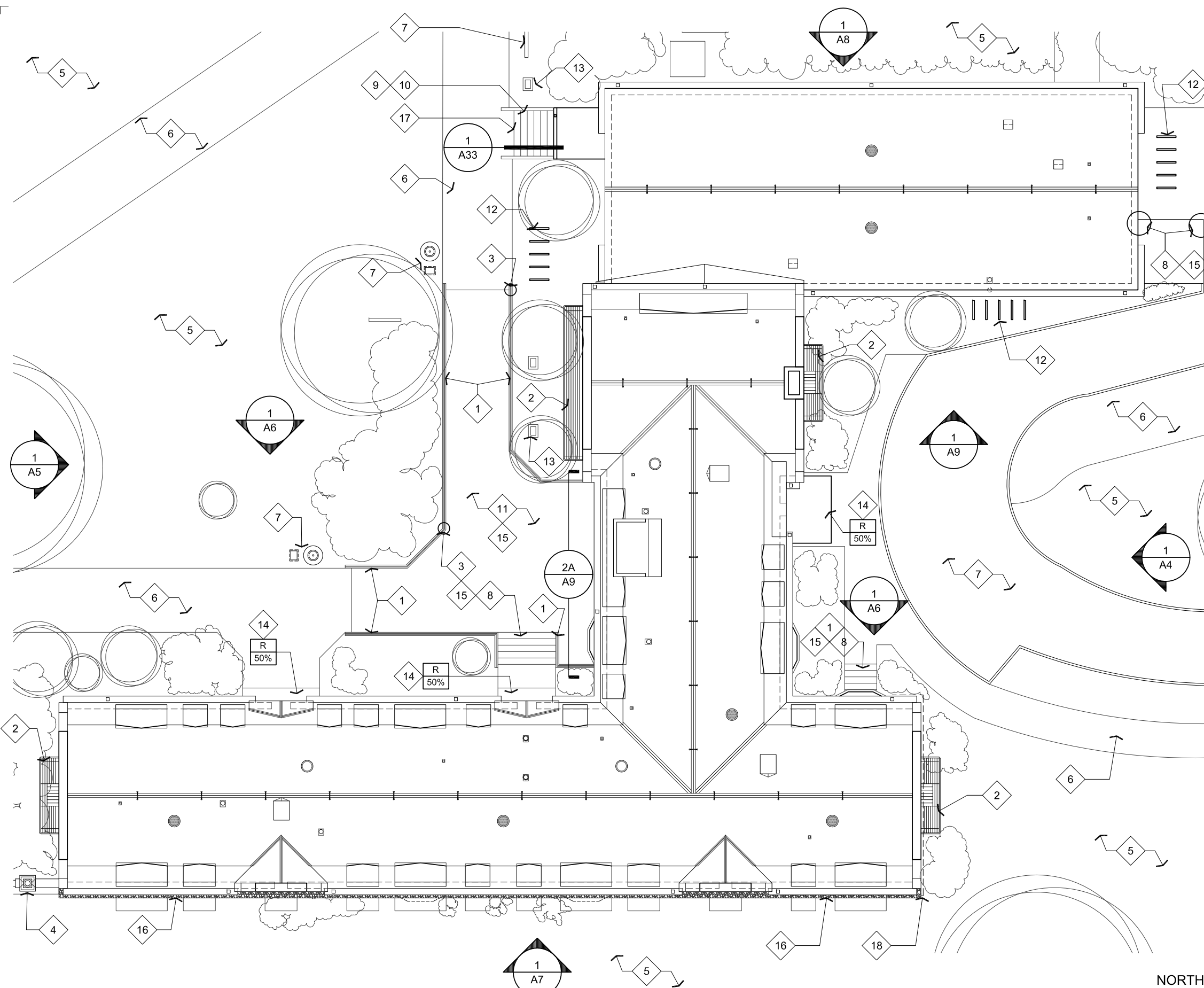
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A1

SHEET NO.

1 OVERALL SITE PLAN
 1/32" = 1'-0"





LEGEND

(A) REFER TO SHEET A0.1 FOR SCOPE OF RESTORATION NOTES.

KEYNOTES

- 1 SCRAPE, CLEAN, PREP, PRIME and PAINT EXISTING HANDRAILS, GUARDRAILS WOOD TRIM COLOR
- 2 SCRAPE, CLEAN, PREP, PRIME and PAINT EXISTING FIRE ESCAPES WOOD TRIM COLOR
- 3 REPAIR OR REPLACE BROKEN AND SPALLED CONCRETE AT RAISED CURBS. APPLY EPOXY INJECTION TO ALL CRACKED CONCRETE AND REPAIR SKIM COAT
- 4 ADD ALTERNATE #1 - GARDEN WALL - REFER TO SHEET A2 FOR PLAN
- 5 LANDSCAPING, N.I.C.; COORDINATE WITH OWNER FOR TRIMMING TO ACCESS BUILDING
- 6 SIDEWALK AND DRIVEWAY, N.I.C.
- 7 NEW SITE LAMP POST - REFER TO SHEET A1 FOR INFORMATION
- 8 REPAIR CRACKED CONCRETE STEPS
- 9 NEW P.T. WOOD STEPS AND STRINGER TO MATCH EXISTING RISE AND RUN, PAINT TO MATCH WOOD TRIM COLOR
- 10 NEW WROUGHT IRON HANDRAIL, PAINT BLACK, PER UO STANDARDS
- 11 EXISTING RAISED CONCRETE RAMP AND PLATFORM
- 12 EXISTING BIKE RACKS, N.I.C.; POWDER COAT UO GREEN. OWNER TO REMOVE, PAINT, AND RE-INSTALL
- 13 PRESSURE WASH ALL MEMORIAL PLAQUES
- 14 BRICK PATIO, REPOINT PER PERCENTAGES, PRESSURE WASH FREE OF VEGETATION AND APPLY WATER REPELLENT COATING
- 15 PRESSURE WASH ALL EXISTING CONCRETE SURFACE FREE OF VEGETATION AND APPLY WATER REPELLENT COATING
- 16 EXCAVATE 18" W X18" D TRENCH ALONG ENTIRE LENGTH OF SOUTH FACING FOUNDATION WALL; (N) 4" Ø PERFORATED PIPE AND BACKFILL WITH 3/4" CRUSHED ROCK, SEE DETAIL 4/A9
- 17 ADD ALTERNATE #2 - NEW CONCRETE METAL PAN STAIRS WITH NEW WOOD FRAMED CANOPY, SEE DETAILS A39-A49
- 18 (E) FOUNDATION DRAIN (DASHED LINE) AT S.E. CORNER; CONNECT (N) PERFORATED PIPE TO (E) PERIMETER FOUNDATION DRAIN

1 ENLARGED SITE PLAN
1/16" = 1'-0"



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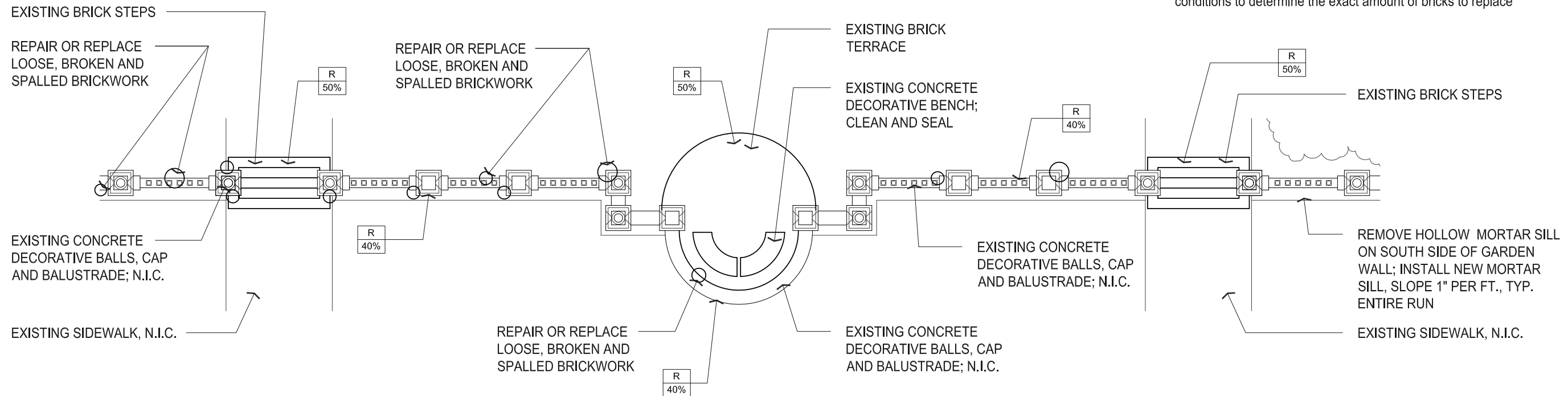
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 SHEET NO.



LEGEND

- Garden Brick Wall:
 - Remove and dispose all plant growth from all exterior surfaces.
 - Clean brick per accepted test methods.
 - Replace all spalled, cracked and missing brick with new or salvaged brick to match existing color and texture. Twenty-five (25) bricks to replace.
 - Re-point brick mortar on the both side of garden wall at 40% of surface area.
 - Re-point brick mortar at steps and patio at 50% of surface area.
 - Clean vegetation and paint splatter off brick surfaces and apply clear water repellent coating.
 - Remove hollow mortar sill on south side of garden wall; install new mortar sill, slope 1" per ft. from balustrade

- Approximate location of broken or spalled bricks; field verify all conditions to determine the exact amount of bricks to replace



ADD ALTERNATE #1 SITE WALL PLAN

1

3/32" = 1'-0"



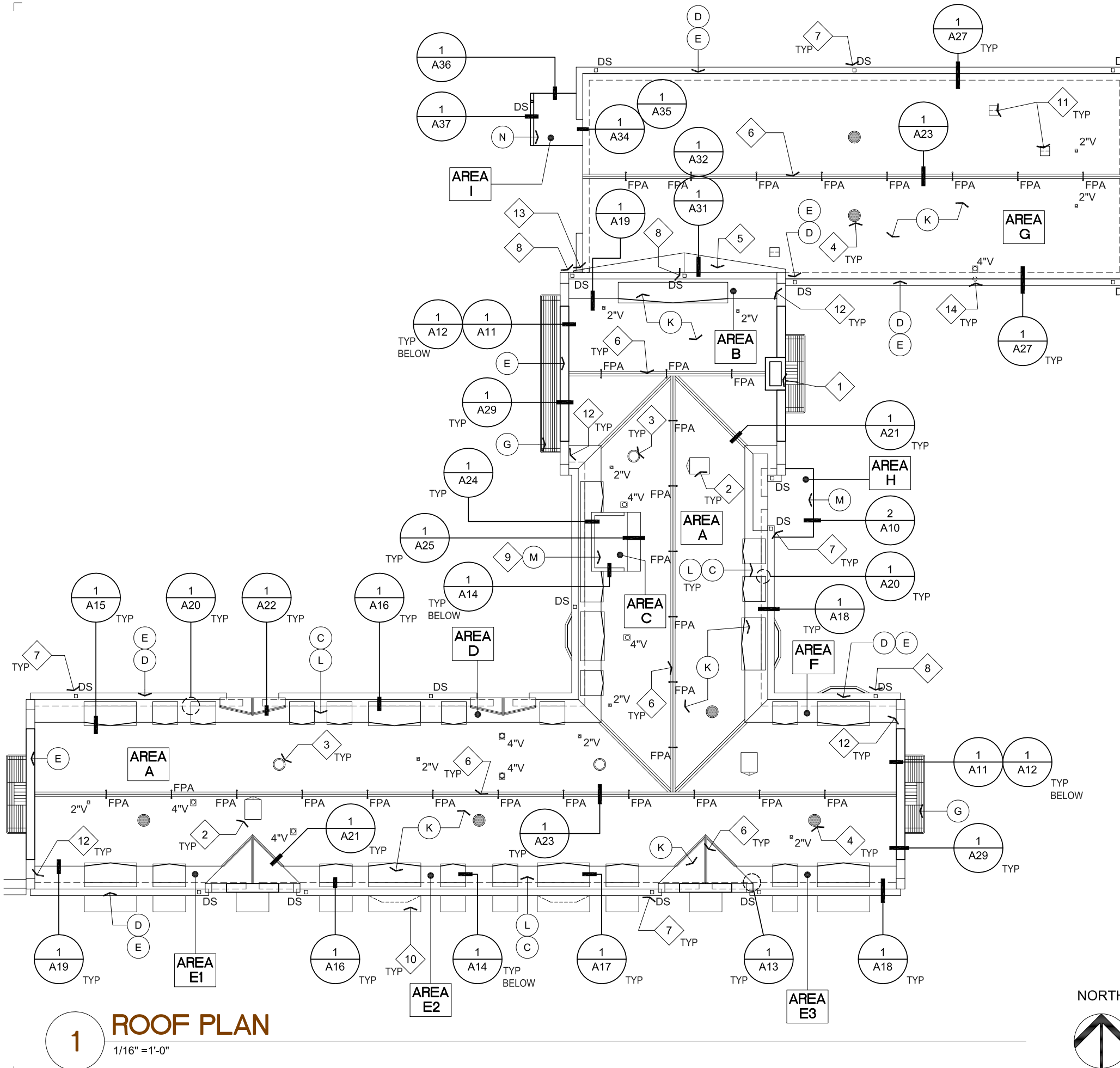
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A2

SHEET NO.



1 ROOF PLAN
1/16" = 1'-0"

LEGEND

- A** REFER TO SHEET A0.1 FOR SCOPE OF RESTORATION NOTES.
- FPA** INSTALL NEW RIDGE FALL PROTECTION ANCHORS AT 10'-0" O.C. MAX. AND 10'-0" MAX. IN FROM EDGE.
- NEW GRAVITY VENT TO MATCH EXISTING
- EXISTING GRAVITY VENT TO BE REPLACED WITH NEW COPPER GRAVITY VENT TO MATCH EXISTING
- DS** DOWNSPOUT
- (#)V** PLUMBING VENT

KEYNOTES (ALL NOTES ARE TYP. AT ALL CONDITIONS)

- 1** NEW COPPER SPARK ARRESTOR AT EXISTING CHIMNEY
- 2** REMOVE EXISTING SCUTTLE - INSTALL NEW COPPER HOOD AND CRICKET W/ SOLDERED SEAMS
- 3** REMOVE THE (3) EXISTING 18" DIA. GRAVITY ROOF VENTS, INSTALL (3) NEW COPPER VENTS TO MATCH EXISTING
- 4** INSTALL (6) ADDITIONAL NEW COPPER 18" DIA. GRAVITY ROOF VENT TO MATCH EXISTING
- 5** NEW WOOD FRAMED CRICKET WITH FULLY ADHERED EPDM MEMBRANE AND NEW COPPER FLASHING
- 6** NEW COPPER PLAIN/ FLAT RIDGE FLASHING
- 7** EXISTING LEADER BOXES - SCRAPE, CLEAN, PREP, PRIME AND PAINT TO WOOD TRIM COLOR. REMOVE EXISTING DOWNSPOUTS AND INSTALL NEW PRE-FINISHED METAL DOWNSPOUT TO MATCH EXISTING SIZE AND COLOR AND CONNECT TO EXISTING CLEAN OUT
- 8** INSTALL NEW COPPER LEADER BOX TO MATCH EXISTING SIZE AND PROFILE - PRIME AND PAINT WOOD TRIM COLOR - INSTALL NEW PRE-FINISHED METAL DOWNSPOUT TO MATCH EXISTING SIZE AND COLOR AND CONNECT TO EXISTING CLEAN OUT
- 9** ELEVATOR PENTHOUSE
- 10** FABRIC AWNING, N.I.C. - OWNER TO REMOVE, CLEAN, PAINT FRAME, TREAT WITH WATER REPELLENT, AND RE-INSTALL
- 11** EXISTING GALVANIZED GRAVITY VENTS - CLEAN, PRIME AND PAINT WOOD TRIM COLOR
- 12** NEW CONT. COPPER SIDE WALL FLASHING AT THE BACK SIDE OF GABLE END WALLS TO COVER NEW COPPER STEP FLASHINGS WHERE THE CEDAR SHINGLE TERMINATES AT GABLE WALL
- 13** INSTALL NEW COPPER SCUPPER FROM NEW WOOD FRAMED CRICKET TO NEW LEADER BOX
- 14** EXISTING PIPE VENT IN GUTTER; CUT BELOW DECK, ADD ELBOWS AND COUPLING OF SAME MATERIAL AND RELOCATED OUT OF GUTTER

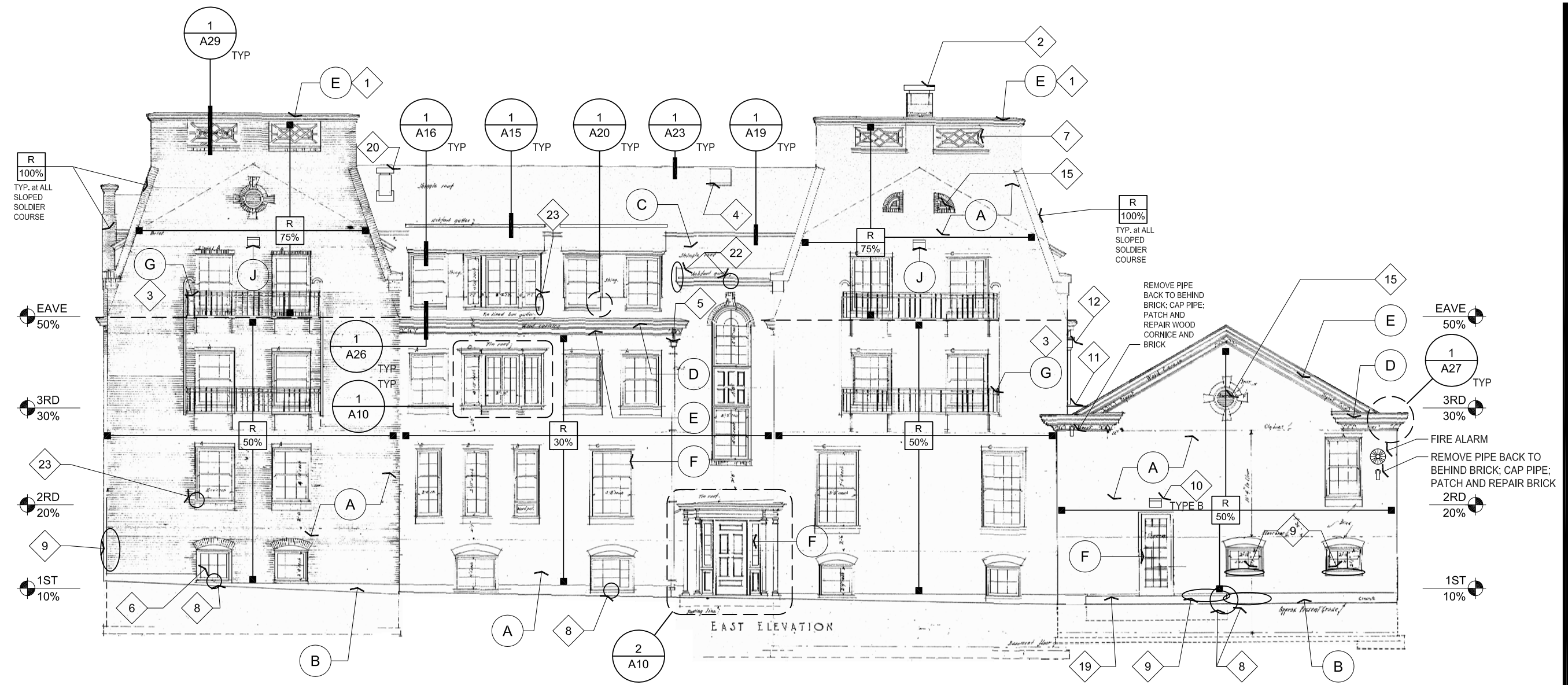


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EXTERIOR RESTORATION 2013

DRAWN: TWW
JOB NO: 09073
DATE: 03/18/13

A3
SHEET NO.



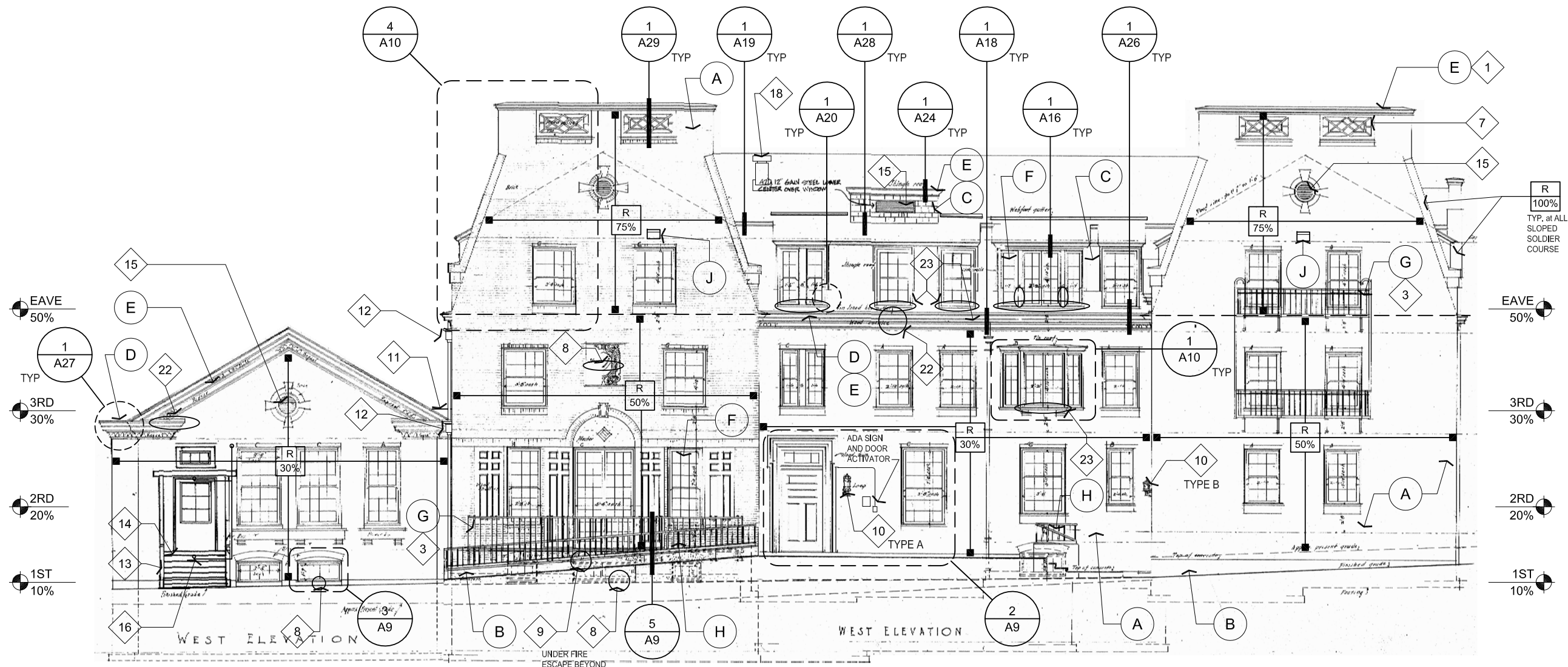
1 EAST ELEVATION
 3/32" = 1'-0"

SYMBOLS

- R = BRICK REPOINTING
- PERCENTAGE OF OVERALL WORK IN SPECIFIC AREA
- FLOOR LEVEL
- GLAZING COMPOUND PERCENTAGE REPLACEMENT
- REFER TO SHEET A0.1 FOR SCOPE OF RESTORATION NOTES.
- APPROXIMATE LOCATION OF BROKEN OR SPALLED BRICK, CONCRETE, OR DETERIORATED WOOD TO BE REPLACED

KEYNOTES (ALL NOTES ARE TYP. AT ALL CONDITIONS)

- WOOD CORNICE with COPPER COPING
- NEW COPPER SPARK ARRESTOR CHIMNEY CAP.
- EXISTING FIRE ESCAPE - SCRAPE, PREP, PRIME, PAINT WOOD TRIM COLOR
- REMOVE EXISTING SCUTTLE - INSTALL NEW COPPER HOOD AND CRICKET W/ SOLDERED SEAMS
- EXISTING LEADER BOX - PREP, PRIME, PAINT WOOD TRIM COLOR; NEW DOWNSPOUTS
- EXISTING METAL SECURITY GRATES -SCRAPE, PREP, PRIME, PAINT WOOD TRIM COLOR, TYP. ALL LOCATIONS
- EXISTING WOOD GRILLS, LATTICE, REPLACE DRY ROT WOOD - SCRAPE, PREP, PRIME, PAINT WOOD TRIM COLOR
- REPAIR OR REPLACE BROKEN AND SPALLED CONCRETE. EPOXY INJECT CRACKED CONCRETE.
- REPAIR OR REPLACE LOOSE, BROKEN AND SPALLED BRICKWORK
- REMOVE EXISTING AND INSTALL NEW LIGHT FIXTURE AT ENTRY DOORS ONLY, RE. TO SPEC. 26 00 00 FOR LIGHT TYPE
- NEW WOOD FRAMED CRICKET AT HEAD WALL CONDITION, FINISHED WITH ADHERED SINGLE PLY MEMBRANE
- INSTALL NEW COPPER LEADER BOX, PAINT TO MATCH WOOD TRIM COLOR, AND NEW PRE-FINISHED DOWNSPOUT
- NEW WROUGHT IRON HANDRAIL, PER UO STANDARDS, PAINT BLACK, SEE DETAIL A38
- REMOVE AND REPLACE (E) WOOD TREADS, STINGERS, AND HANDRAILS WITH (N) P.T. WOOD STRINGERS AND TREADS TO MATCH (E) RISE AND RUN AND APPLY ANTI-SLIP COATING TO TREADS; SCRAPE ALL REMAINING WOOD CANOPY ELEMENTS AND PAINT TO MATCH (E) COLOR
- METAL LOUVER - SCRAPE, PREP, PRIME AND PAINT WOOD TRIM COLOR
- ALL EXTERIOR FIRE SPRINKLER - SCRAPE, PREP, PRIME AND PAINT WOOD TRIM COLOR
- NEW GALV. STEEL FOUNDATION WINDOW WELL, REFER TO SECTION 03 01 00
- REMOVE EXISTING GRAVITY ROOF VENTS, INSTALL NEW COPPER, TO MATCH EXISTING PROFILE
- INSTALL NEW BACKER ROD AND SEALANT BETWEEN CONCRETE PORCH AND BRICK FACADE.
- NEW COPPER GRAVITY VENT TO MATCH EXISTING PROFILE
- EXCAVATE 18" W X18" D TRENCH ALONG ENTIRE LENGTH OF SOUTH FACING FOUNDATION WALL; (N) 4" Ø PERFORATED PIPE AND BACKFILL WITH 3/4" CRUSHED ROCK, SEE DETAIL 4/A9
- EXISTING WOOD CORNICE, EAVE, AND RAKES; REPLACE DETERIORATED WOOD - PREP, PRIME, PAINT WOOD TRIM COLOR
- EXISTING WOOD WINDOW SASH, FRAME, AND SILL; REPLACE DETERIORATED WOOD - PREP, PRIME, PAINT WOOD TRIM COLOR



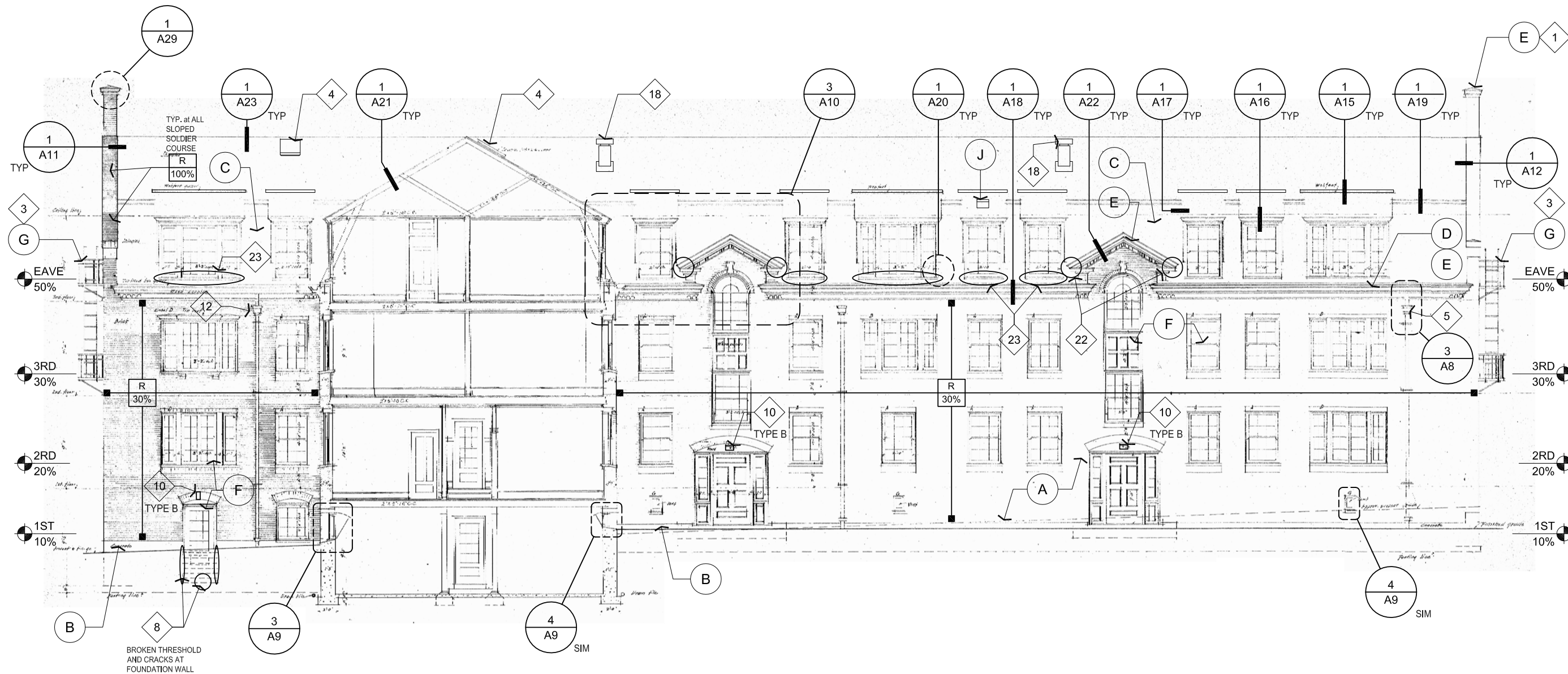
1 WEST ELEVATION
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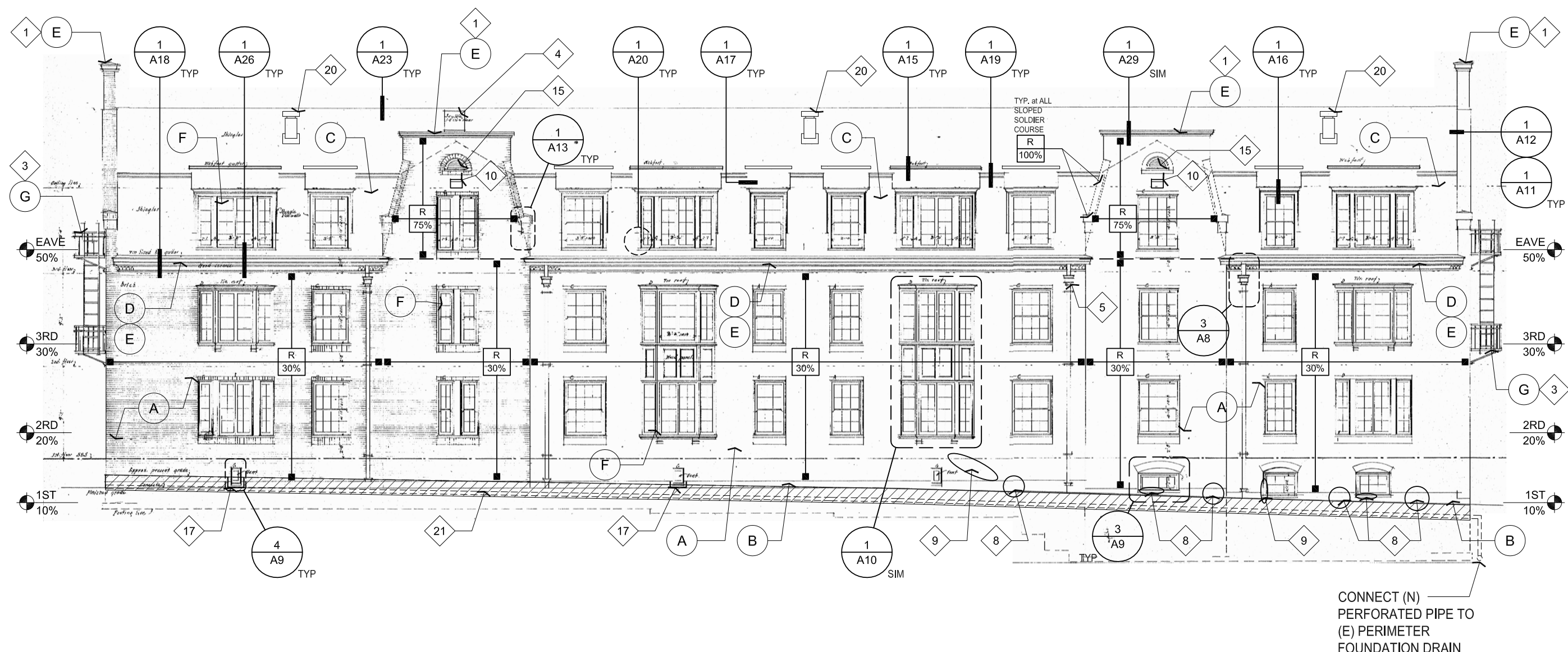
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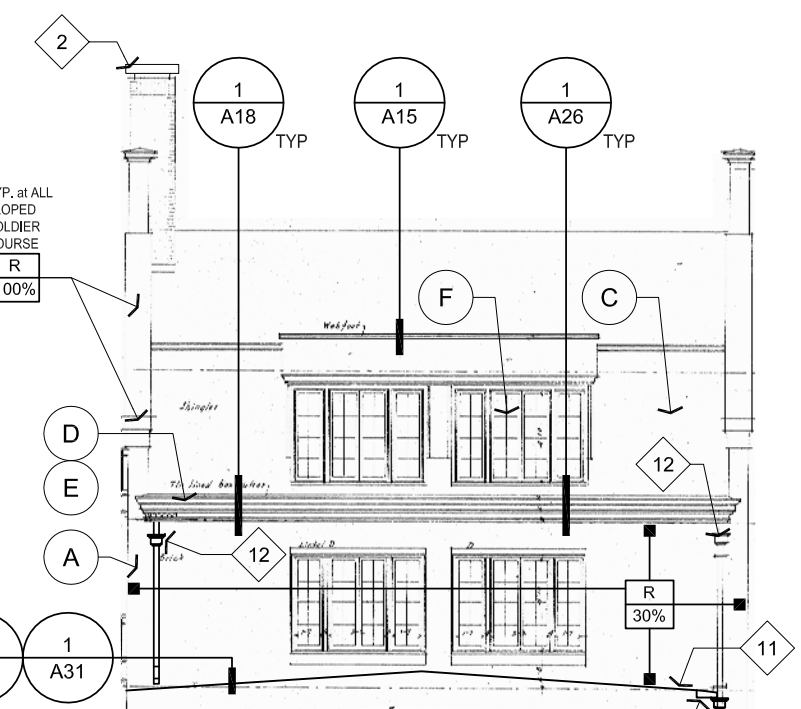
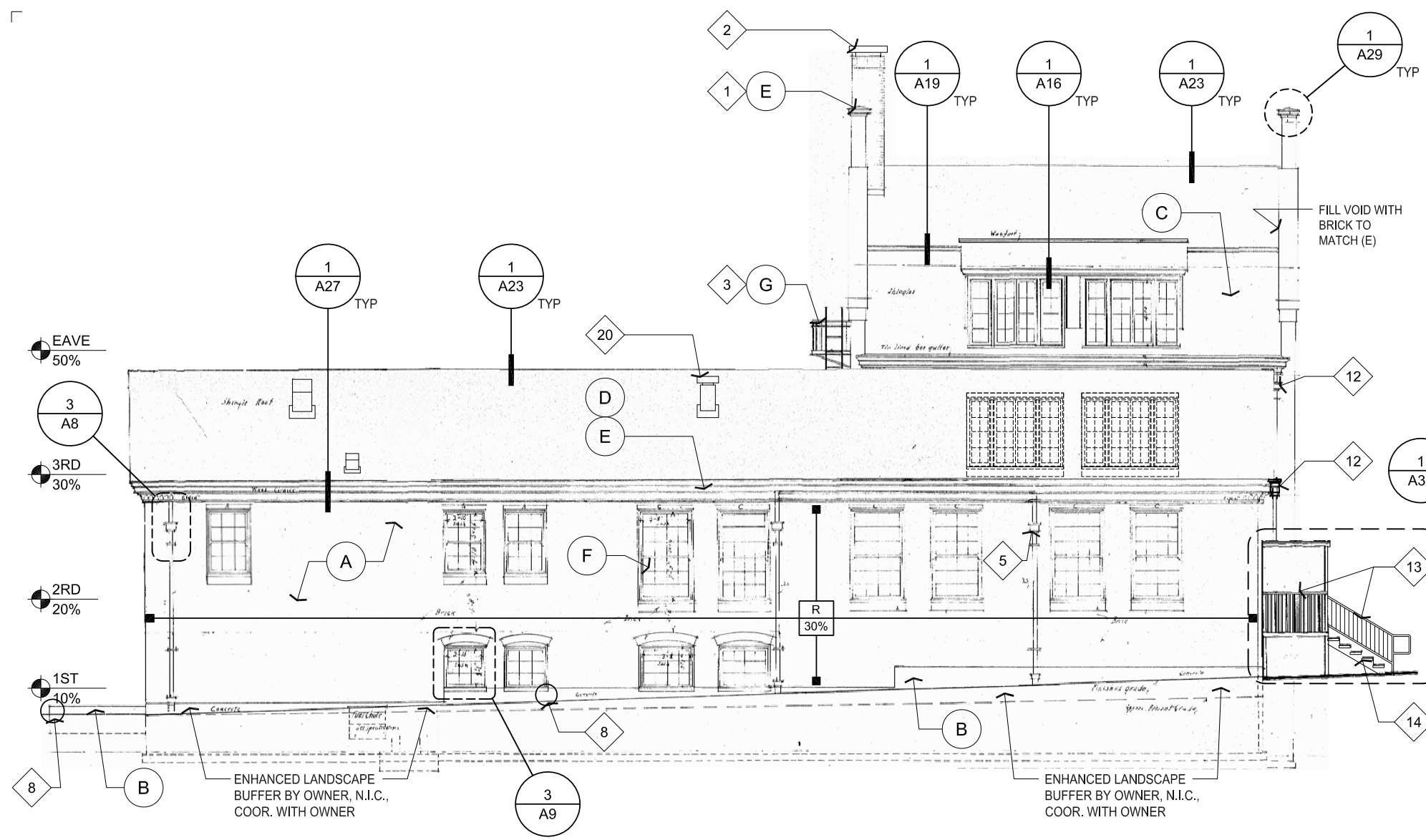
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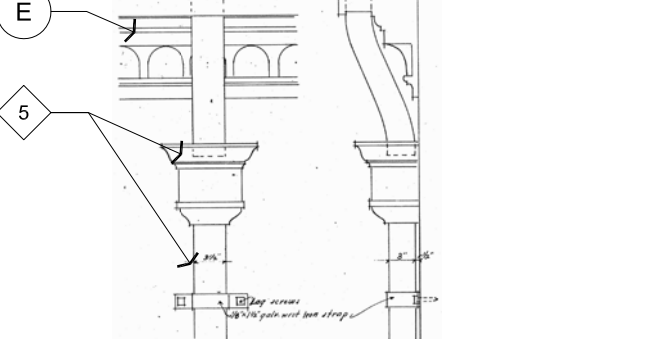
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CONNECT (N)
 PERFORATED PIPE TO
 (E) PERIMETER
 FOUNDATION DRAIN



2 PARTIAL NORTH ELEVATION
 3/32" = 1'-0"
 (N) COPPER SCUPPER/DIVERTER FROM (N) CRICKET TO (N) LEADER BOX



3 LEADER BOX
 N.T.S.

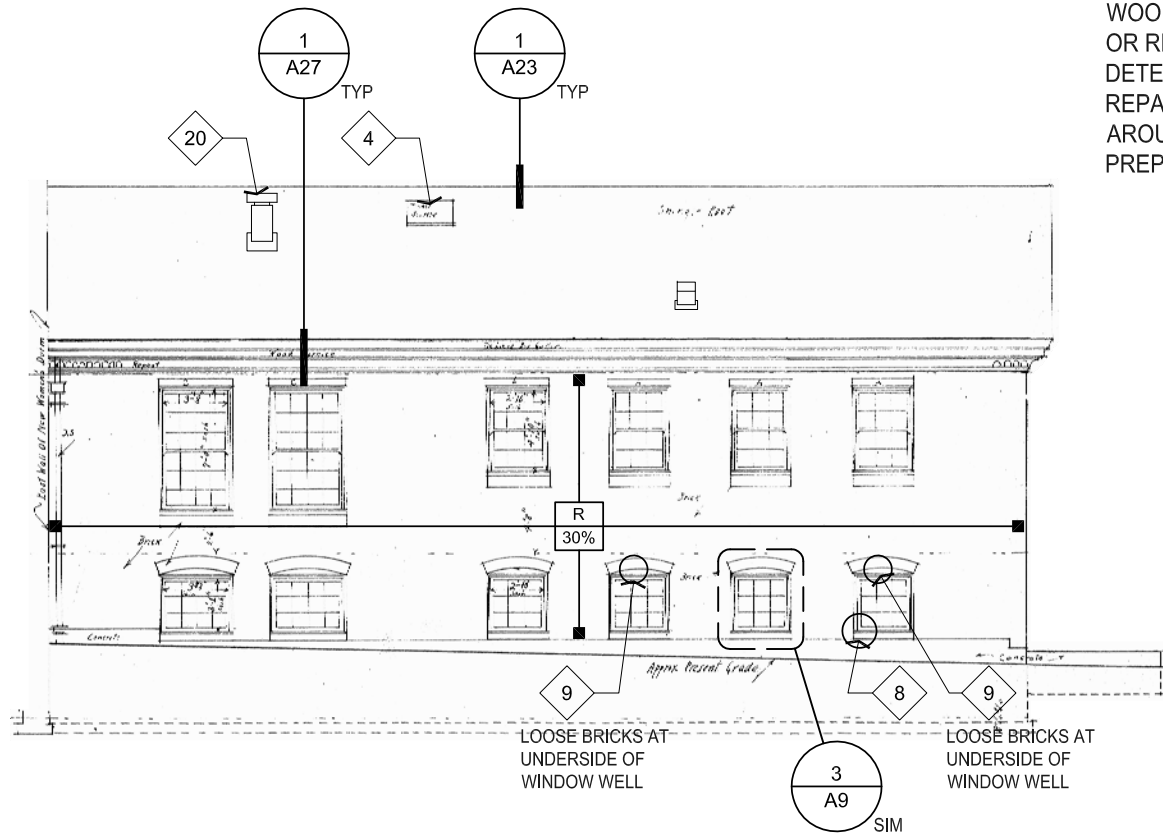
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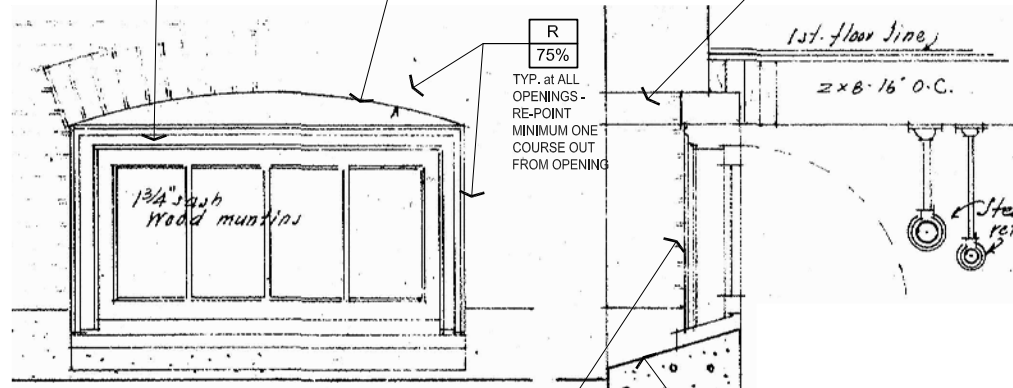
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1 SOUTH ELEVATION
3/32" = 1'-0"

REPLACE ANY BROKEN GLASS, REPAIR AND REPLACE ALL DETERIORATED WOOD; SCRAPE, PREP, PRIME AND PAINT.

REPAIR AND REPLACE ALL BROKEN OR LOOSE BRICK ON THE UNDERSIDE OF BRICK WINDOW WELL.

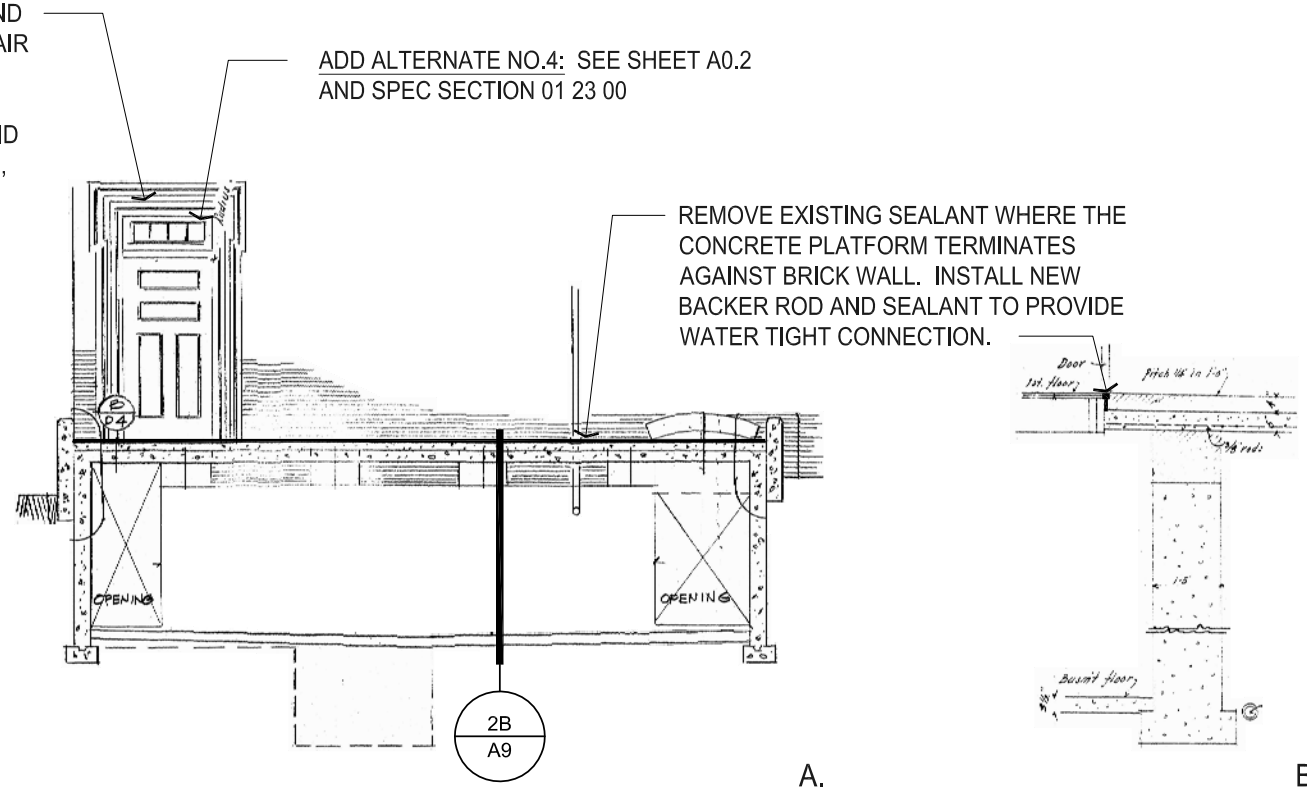


METAL SCREEN; SCRAPE, PREP, PRIME AND PAINT TO MATCH WOOD TRIM COLOR.

REPAIR BROKEN OR CRACK CONCRETE SILLS

3 BASEMENT WINDOW ELEV./ SECT.
N.T.S.

EXISTING WOOD DOOR AND WOOD DOOR WELL. REPAIR OR REPLACE ANY DETERIORATED WOOD, REPAIR DOOR TO FILL VOID AROUND FRAME; SCRAPE, PREP, PRIME AND PAINT.

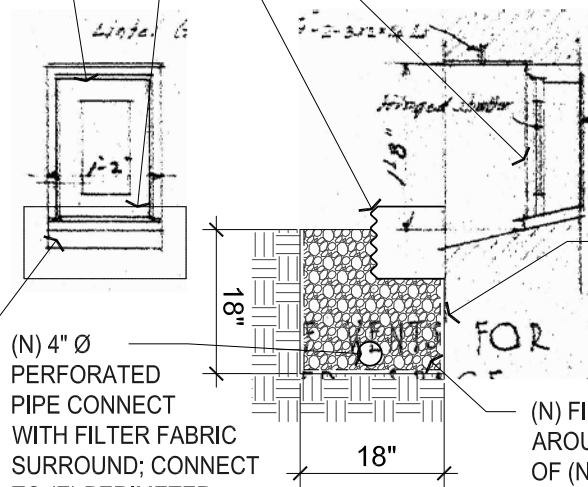


2 RAISED WALK AT BRICK WALL
1/4" = 1'-0"

REPAIR AND REPLACE ALL DETERIORATED WOOD; SCRAPE, PREP, PRIME AND PAINT.

NEW GALV. STEEL FOUNDATION WINDOW WELL

REPLACE ALL DAMAGED SCREENS

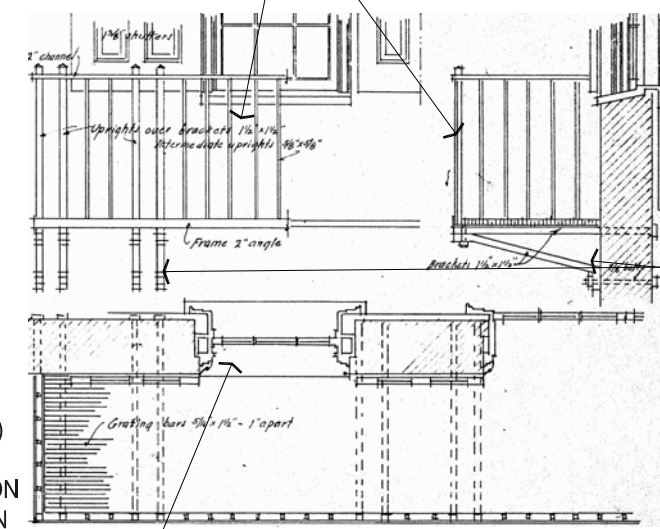


(N) 4" Ø PERFORATED PIPE CONNECT WITH FILTER FABRIC SURROUND; CONNECT TO (E) PERIMETER FOUNDATION DRAIN

(N) FILTER FABRIC AROUND PERIMETER OF (N) 3/4" CRUSHED ROCK BACKFILL

4 UNEXCAVATED VENTS
N.T.S.

EXISTING METAL BALCONY, SCRAPE, PREP, PRIME AND PAINT TO MATCH WOOD TRIM COLOR.



WINDOW AND WINDOW WELL UNDER METAL BALCONY; REPAIR AND REPLACE ALL BROKEN OR LOOSE BRICK; REPAIR AND REPLACE ALL DETERIORATED WOOD; SCRAPE, PREP, PRIME AND PAINT.

5 LIVING ROOM BALCONY
1/4" = 1'-0"

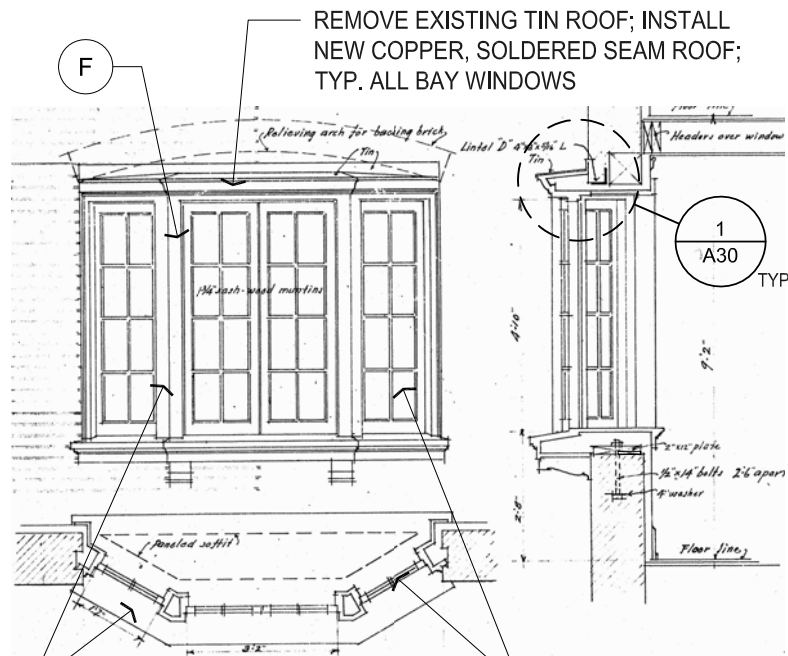


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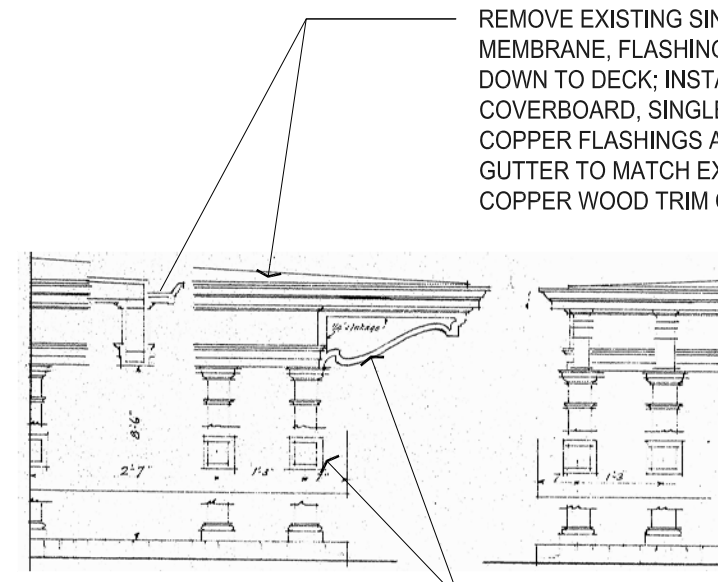
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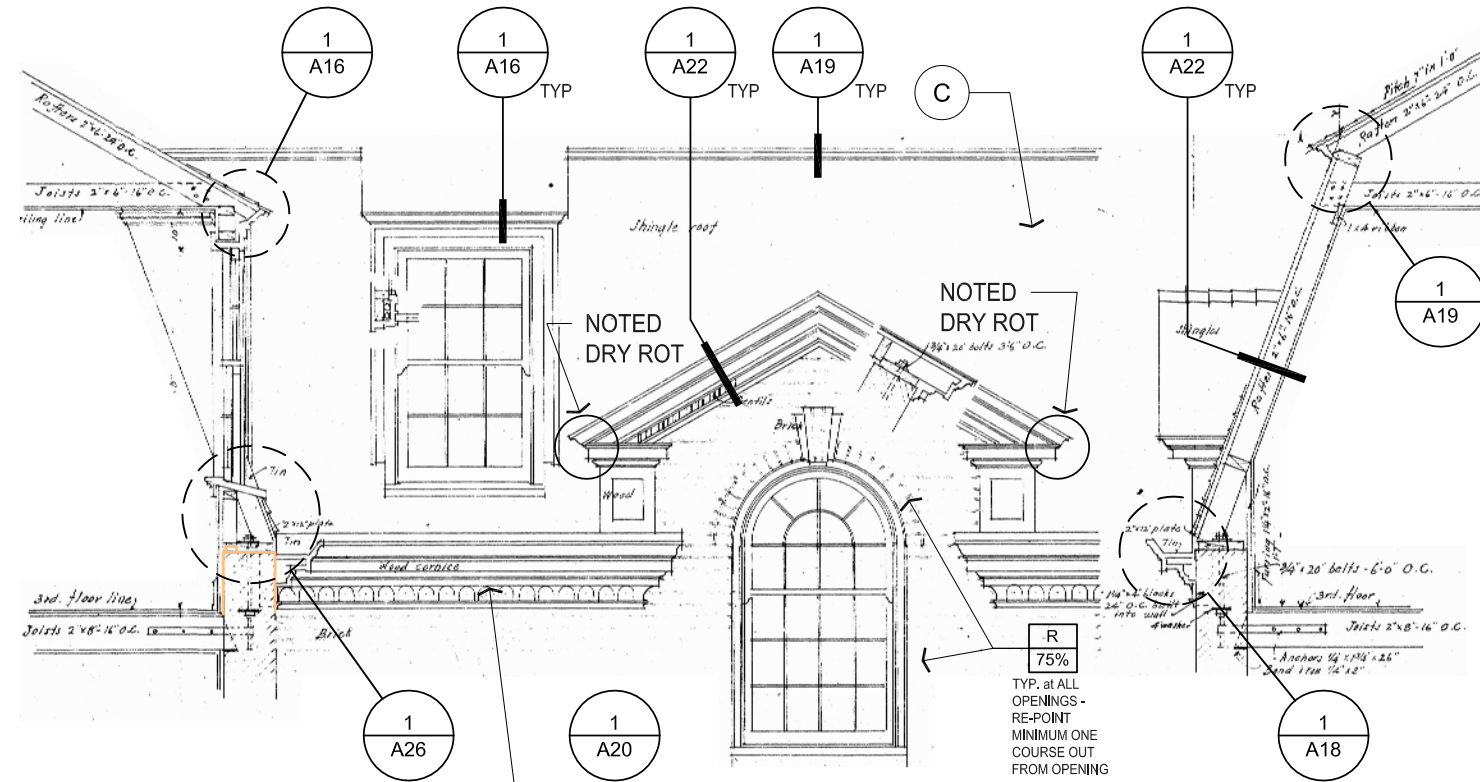
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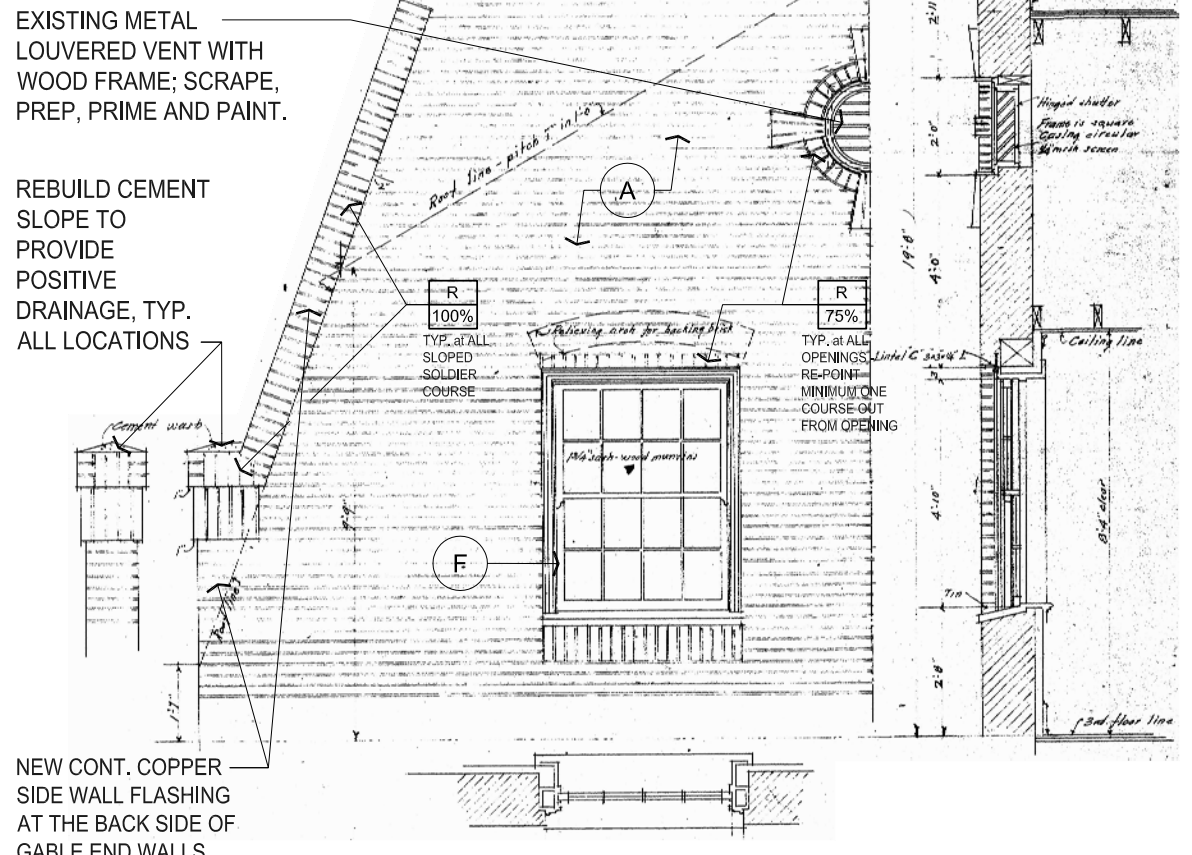
1 BAY WINDOW
1/4" = 1'-0"



2 PORTE COCHERE
N.T.S.



3 BAY WINDOWS
1/4" = 1'-0"



4 CORNER OF NORTHWEST GABLE
1/4" = 1'-0"
(SIMILAR AT ALL GABLE ENDS)

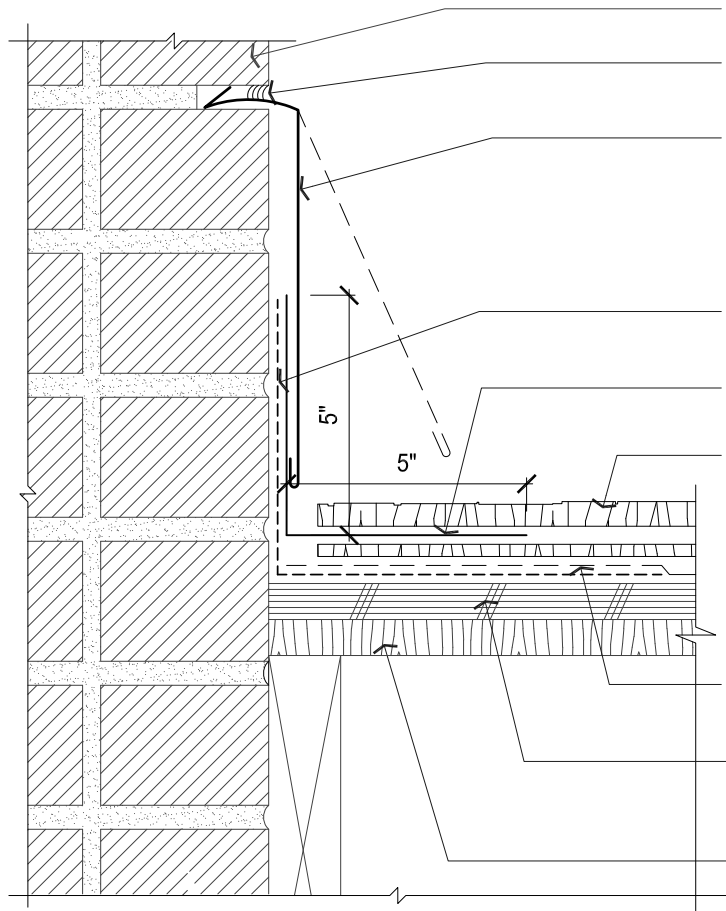


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A10
SHEET NO.



EXISTING MASONRY WALL

REMOVE EXISTING MORTAR, INSTALL NEW SEALANT

EXISTING TIN REGLET FLASHING, BEND OUT TO INSTALL NEW COPPER STEP FLASHING, BEND BACK IN PLACE; WHERE REGLET FLASHING IS MISSING INSTALL NEW TO MATCH EXISTING

NEW SELF ADHESIVE MEMBRANE LAP UP SIDE WALL

NEW COPPER STEP FLASHING -SEE DETAIL 1-A12

NEW FIRE TREATED CEDAR SHINGLES

NEW 30# BUILDING PAPER, LAP OVER SELF ADHESIVE MEMBRANE

EXISTING PLYWOOD DECKING, REMOVE DETERIORATED DECKING AND REPLACE WITH NEW TO MATCH EXISTING THICKNESS

EXISTING SKIP SHEATHING

1

STEP FLASHING- MASONRY

3" = 1' - 0"

073TWW01

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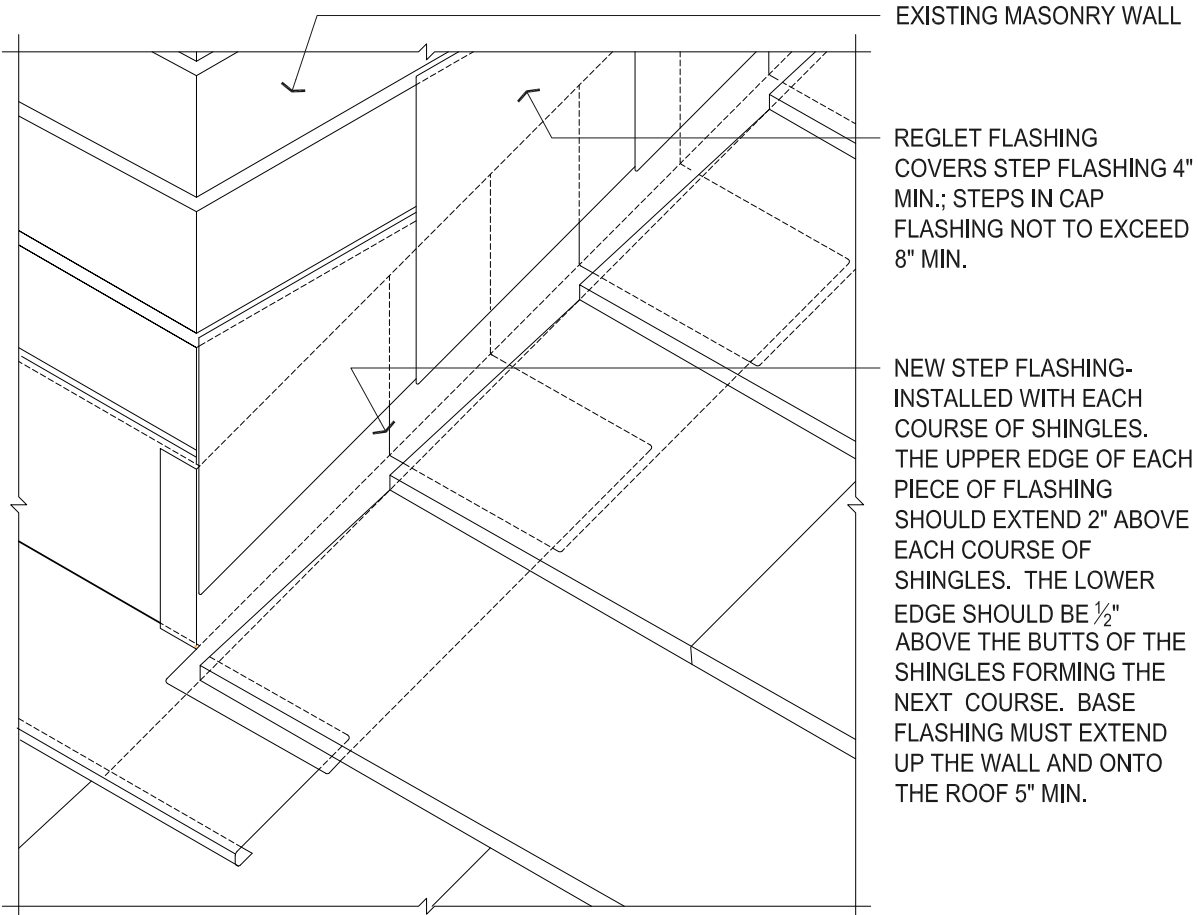
UNIVERSITY OF OREGON

HENDRICKS HALL
EXT. RESTORATION 2013



A11

SHEET NO.



1

STEP FLASHING- MASONRY ISO

NTS

073TWW02

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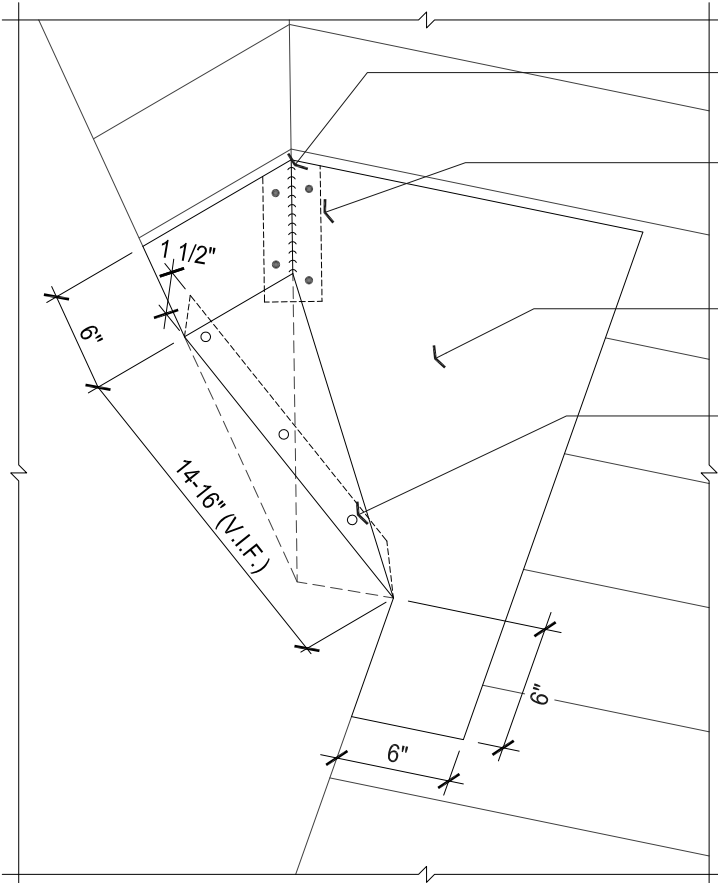
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A12

SHEET NO.



SOLDER AT SEAM

NEW COPPER GUSSET BEHIND WITH POP RIVETS. APPLY SEALANT TO RIVET HEADS.

NEW 16oz. COPPER CRICKET FLASHING

EXPANDING SHANK FASTENERS WITH SEALANT @ 6" O.C. CONTINUOUS BEAD OF SEALANT AT TOP EDGE OF FLANGE (AT BRICK)

1

CRICKET FLASHING ISO

NTS

073TWW03

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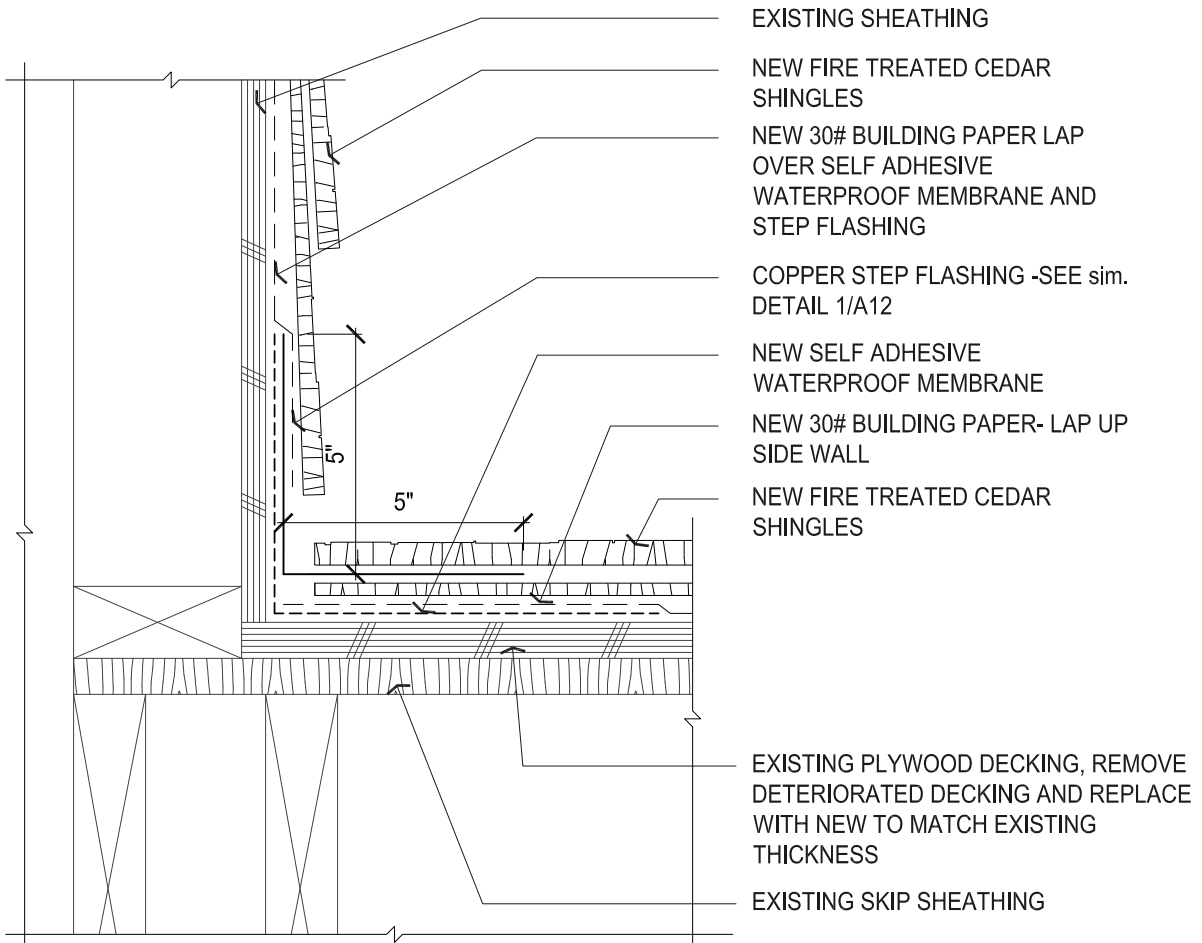
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HENDRICKS HALL
EXT. RESTORATION 2013



A13

SHEET NO.



- EXISTING SHEATHING
- NEW FIRE TREATED CEDAR SHINGLES
- NEW 30# BUILDING PAPER LAP OVER SELF ADHESIVE WATERPROOF MEMBRANE AND STEP FLASHING
- COPPER STEP FLASHING -SEE sim. DETAIL 1/A12
- NEW SELF ADHESIVE WATERPROOF MEMBRANE
- NEW 30# BUILDING PAPER- LAP UP SIDE WALL
- NEW FIRE TREATED CEDAR SHINGLES
- EXISTING PLYWOOD DECKING, REMOVE DETERIORATED DECKING AND REPLACE WITH NEW TO MATCH EXISTING THICKNESS
- EXISTING SKIP SHEATHING

1

STEP FLASHING SHINGLE WALL

3" = 1' - 0"

073TWW04

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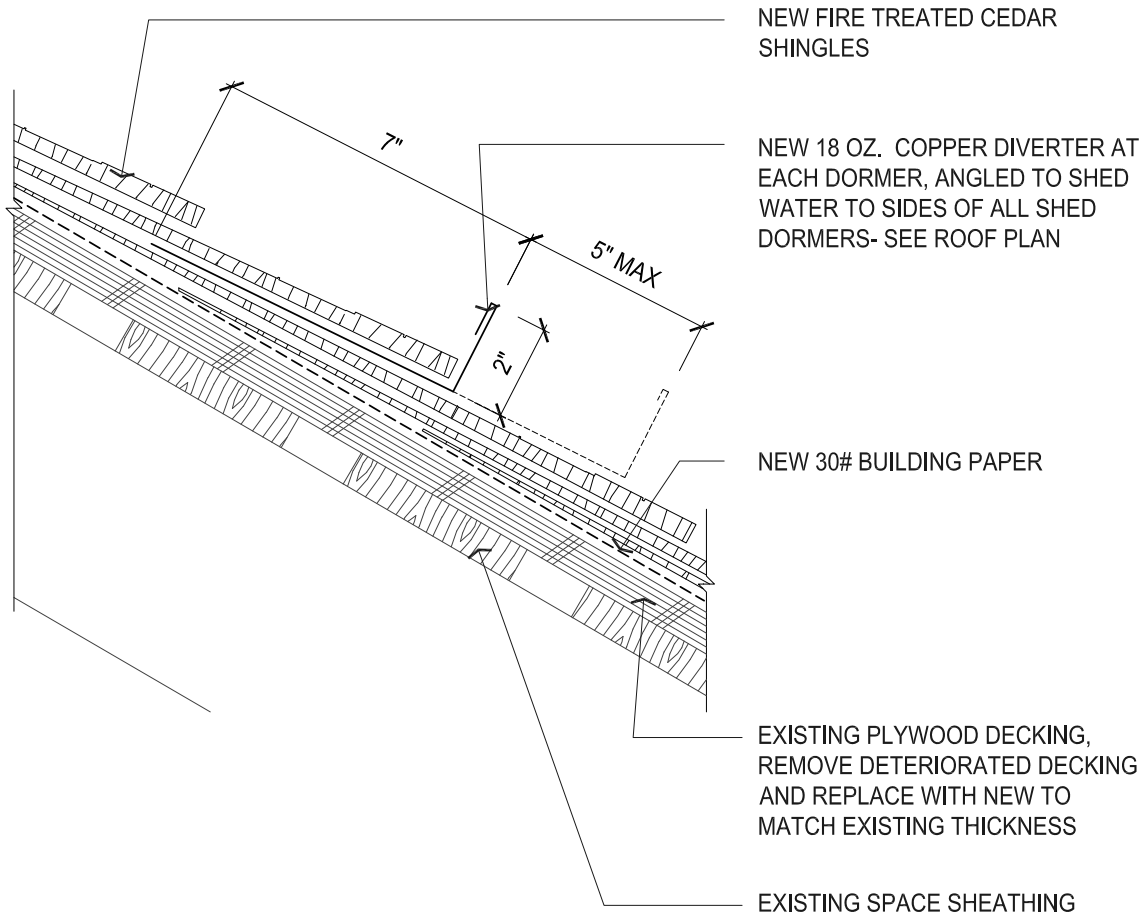
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HENDRICKS HALL
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A14

SHEET NO.



1

COPPER DIVERTER

3" = 1' - 0"

073TWW06

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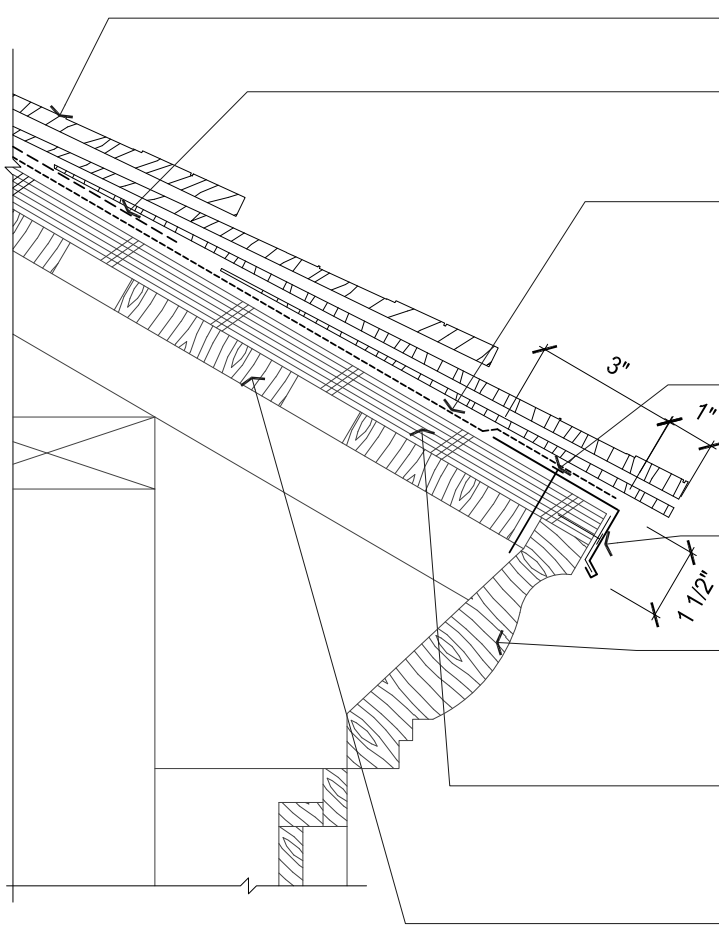
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A15

SHEET NO.



NEW FIRE TREATED CEDAR SHINGLES

NEW 30# BUILDING PAPER LAPPED OVER SELF ADHESIVE MEMBRANE

NEW SELF ADHESIVE MEMBRANE, APPLY 12" PAST AND ABOVE INSULATED WALL AND LAPPED OVER COPPER DRIP EDGE

FASTEN FLASHING 12" O.C.

NEW CONT. CLEAT, FASTEN 12" O.C. BEHIND NEW 16 OZ. COPPER FLASHING WITH HEMMED DRIP

EXISTING DORMER CORNICE, REPAIR AND REPLACE ALL ROTTED WOOD; PREP, PRIME, PAINT

EXISTING PLYWOOD DECKING, REMOVE DETERIORATED DECKING AND REPLACE WITH NEW TO MATCH EXISTING THICKNESS

EXISTING SPACE SHEATHING

1

DORMER CORNICE EAVE

3" = 1' - 0"

073TWW07

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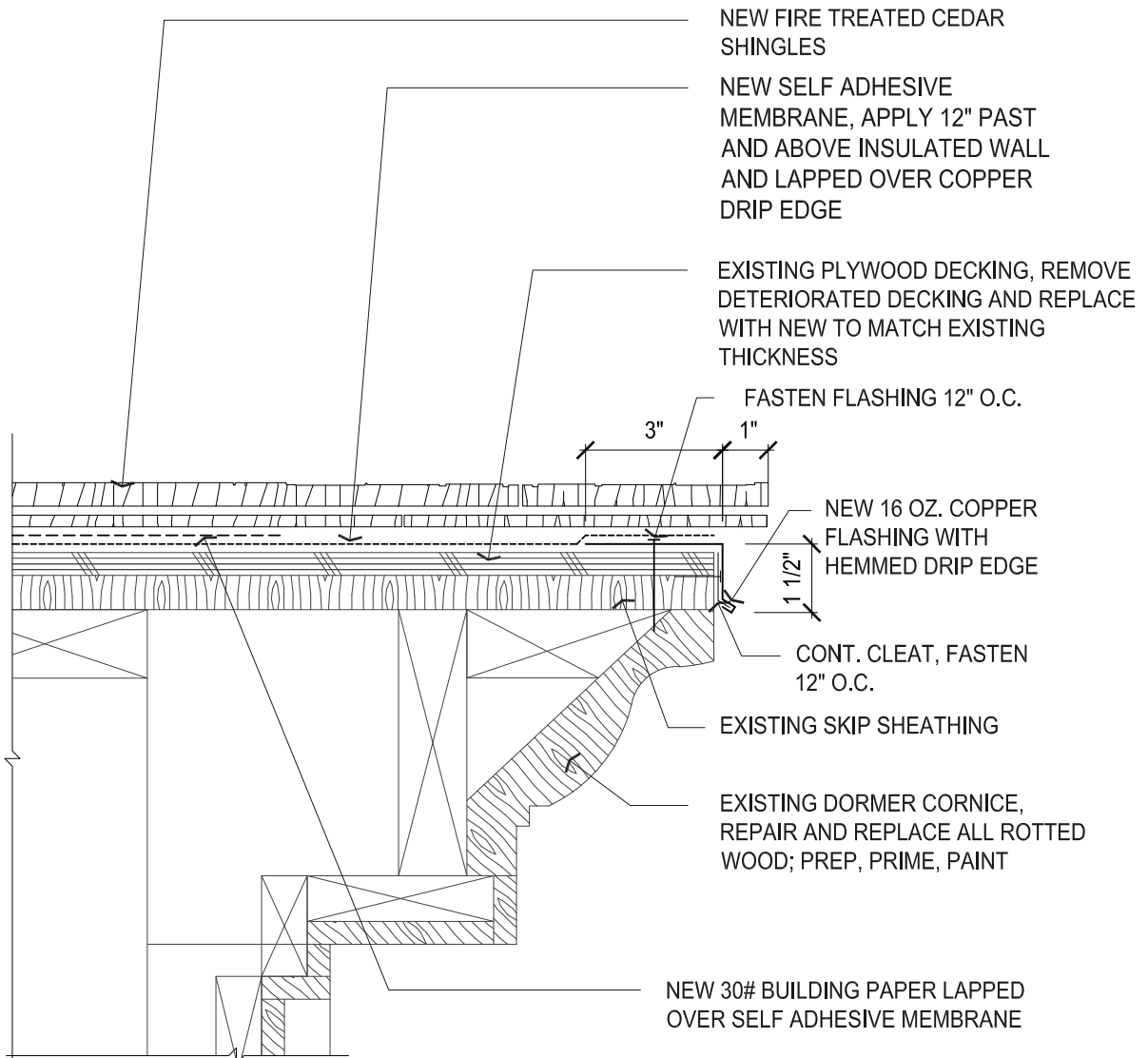
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A16

SHEET NO.



1

DORMER CORNICE RAKE

3" = 1' - 0"

073TWW08

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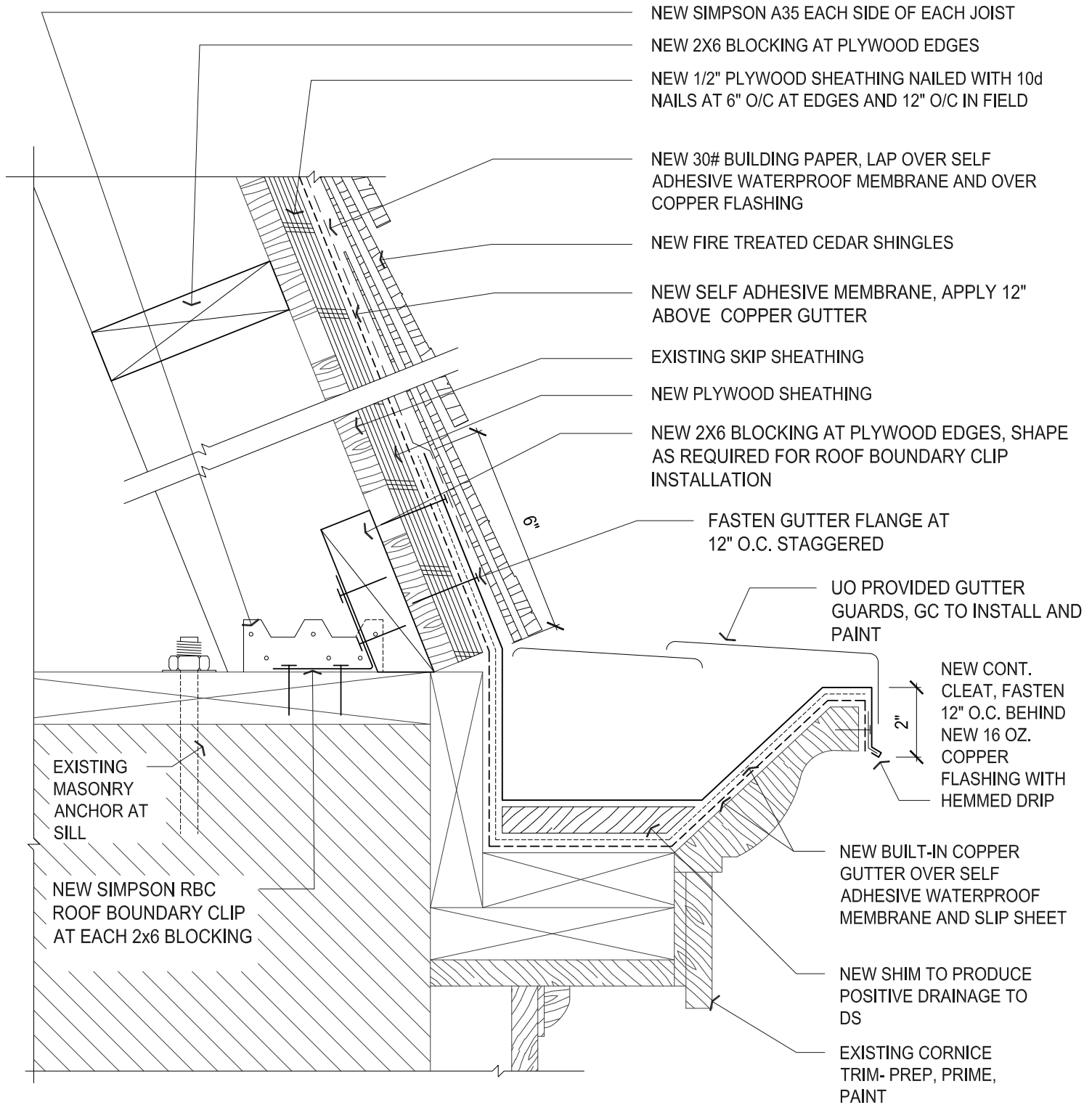
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A17

SHEET NO.



1

UPGRADES AT MANSARD + SILL

3" = 1' - 0"

073TWW10

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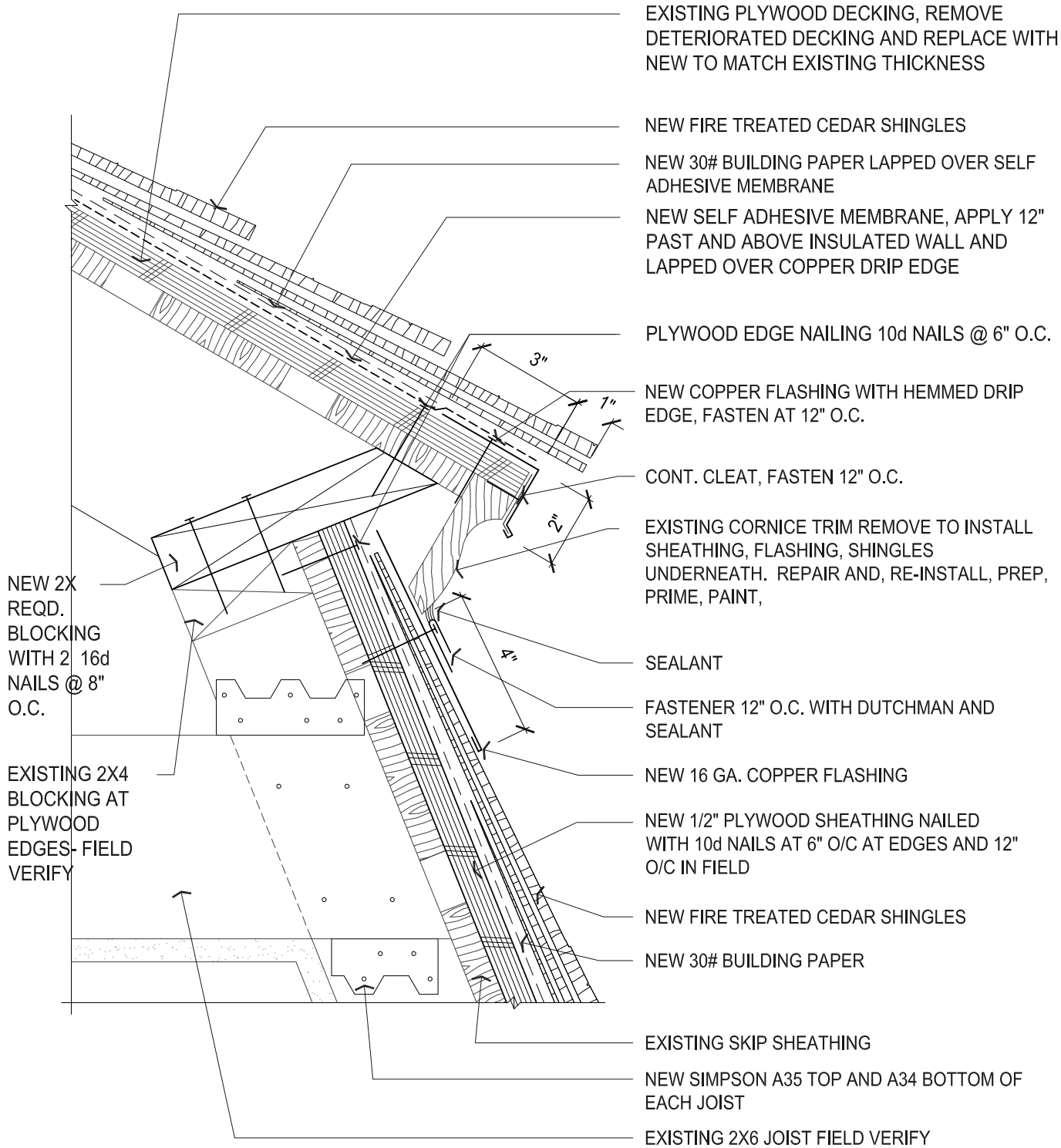
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HENDRICKS HALL
EXT. RESTORATION 2013



A18

SHEET NO.



- EXISTING PLYWOOD DECKING, REMOVE DETERIORATED DECKING AND REPLACE WITH NEW TO MATCH EXISTING THICKNESS
- NEW FIRE TREATED CEDAR SHINGLES
- NEW 30# BUILDING PAPER LAPPED OVER SELF ADHESIVE MEMBRANE
- NEW SELF ADHESIVE MEMBRANE, APPLY 12" PAST AND ABOVE INSULATED WALL AND LAPPED OVER COPPER DRIP EDGE
- PLYWOOD EDGE NAILING 10d NAILS @ 6" O.C.
- NEW COPPER FLASHING WITH HEMMED DRIP EDGE, FASTEN AT 12" O.C.
- CONT. CLEAT, FASTEN 12" O.C.
- EXISTING CORNICE TRIM REMOVE TO INSTALL SHEATHING, FLASHING, SHINGLES UNDERNEATH. REPAIR AND, RE-INSTALL, PREP, PRIME, PAINT,
- SEALANT
- FASTENER 12" O.C. WITH DUTCHMAN AND SEALANT
- NEW 16 GA. COPPER FLASHING
- NEW 1/2" PLYWOOD SHEATHING NAILED WITH 10d NAILS AT 6" O/C AT EDGES AND 12" O/C IN FIELD
- NEW FIRE TREATED CEDAR SHINGLES
- NEW 30# BUILDING PAPER
- EXISTING SKIP SHEATHING
- NEW SIMPSON A35 TOP AND A34 BOTTOM OF EACH JOIST
- EXISTING 2X6 JOIST FIELD VERIFY

NEW 2X
REQD.
BLOCKING
WITH 2 16d
NAILS @ 8"
O.C.

EXISTING 2X4
BLOCKING AT
PLYWOOD
EDGES- FIELD
VERIFY

1

UPGRADES @ ROOF + MANSARD

3" = 1' - 0"

073TWW11

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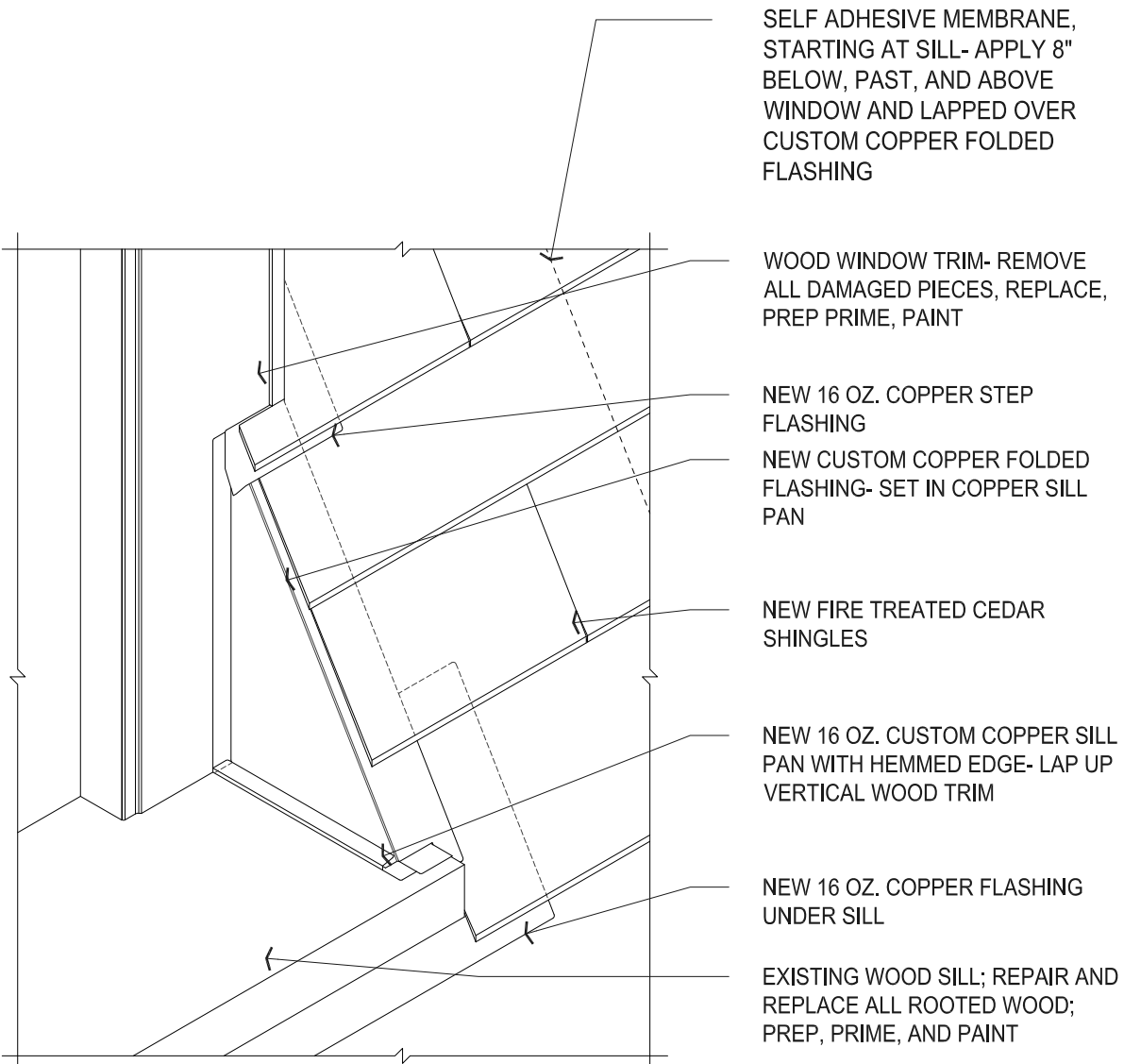
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A19

SHEET NO.



1

FLASHING @ MANSARD WINDOW

NTS

073TWW12

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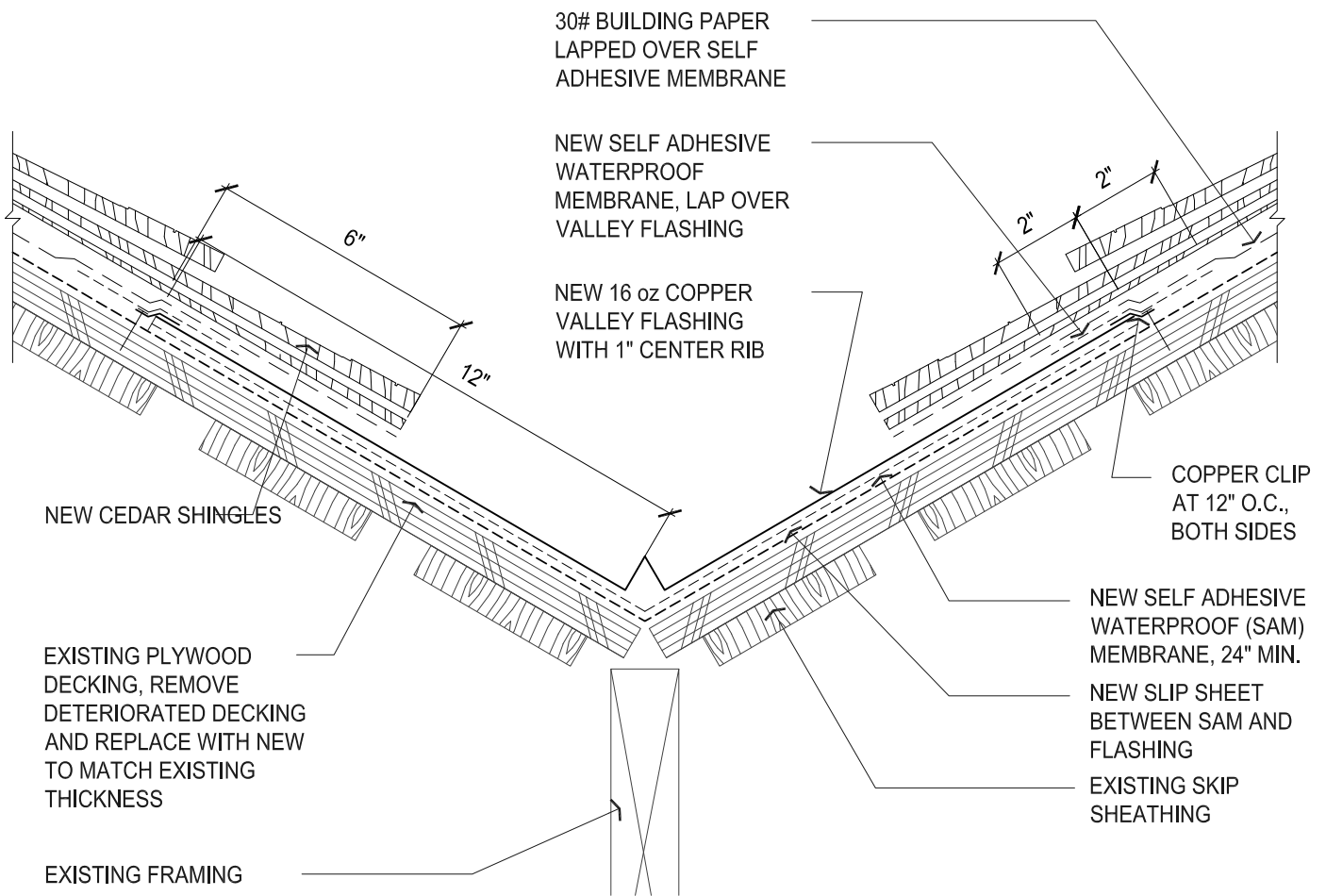
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A20

SHEET NO.



1

OPEN COPPER VALLEY

3" = 1' - 0"

073TWW13

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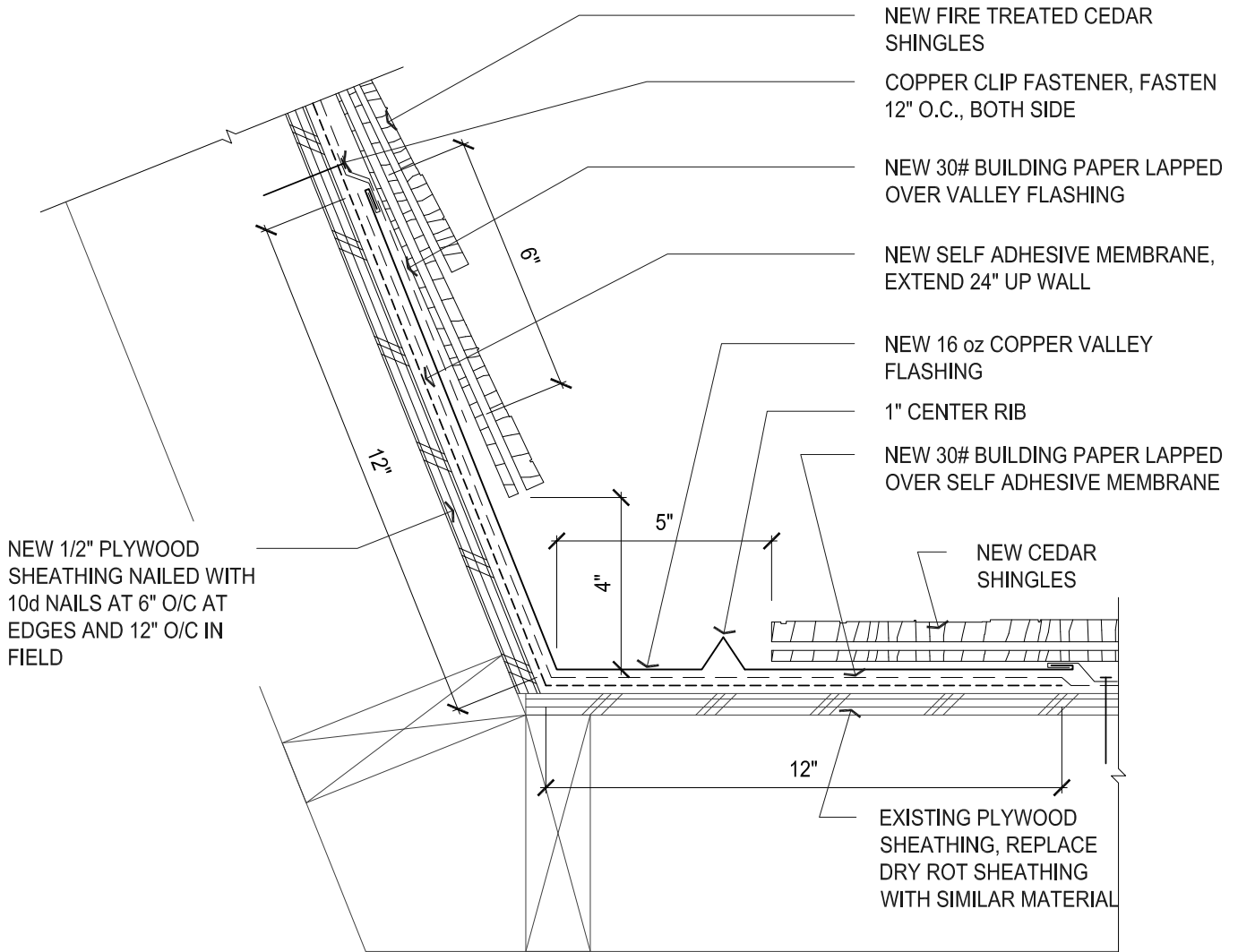
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A21

SHEET NO.



1

STEP FLASHING SHINGLE WALL

3" = 1' - 0"

073TWW14

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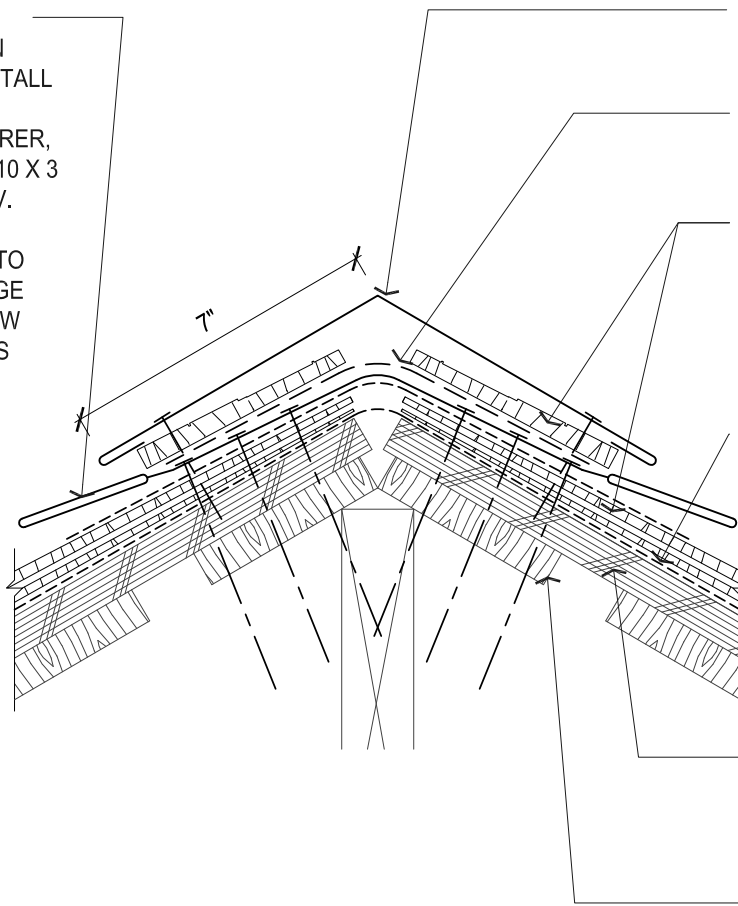
HENDRICKS HALL
EXT. RESTORATION 2013



A22

SHEET NO.

NEW FALL PROTECTION ANCHOR INSTALL PER MANUFACTURER, USE (8) 14 - 10 X 3 S.S. OR GALV. SCREWS ANCHORED TO RAFTER RIDGE JOIST OR NEW BLOCKING AS REQUIRED



NEW 16oz COPPER PLAIN/ FLAT RIDGE FLASHING

NEW UNDERLAYMENT - 6" STRIP OVER FALL PROTECTION

REMOVE EXISTING CEDAR SHINGLES, FLASHING AND UNDERLAYMENT DOWN TO DECK. INSTALL NEW NEW FIRE TREATED CEDAR SHINGLES AND NEW COPPER FLASHING

NEW UNDERLAYMENT

EXISTING PLYWOOD DECKING, REMOVE DETERIORATED DECKING AND REPLACE WITH NEW TO MATCH EXISTING THICKNESS

EXISTING SPACED SHEATHING

1

COPPER RIDGE ROLL

3" = 1' - 0"

073TWW05

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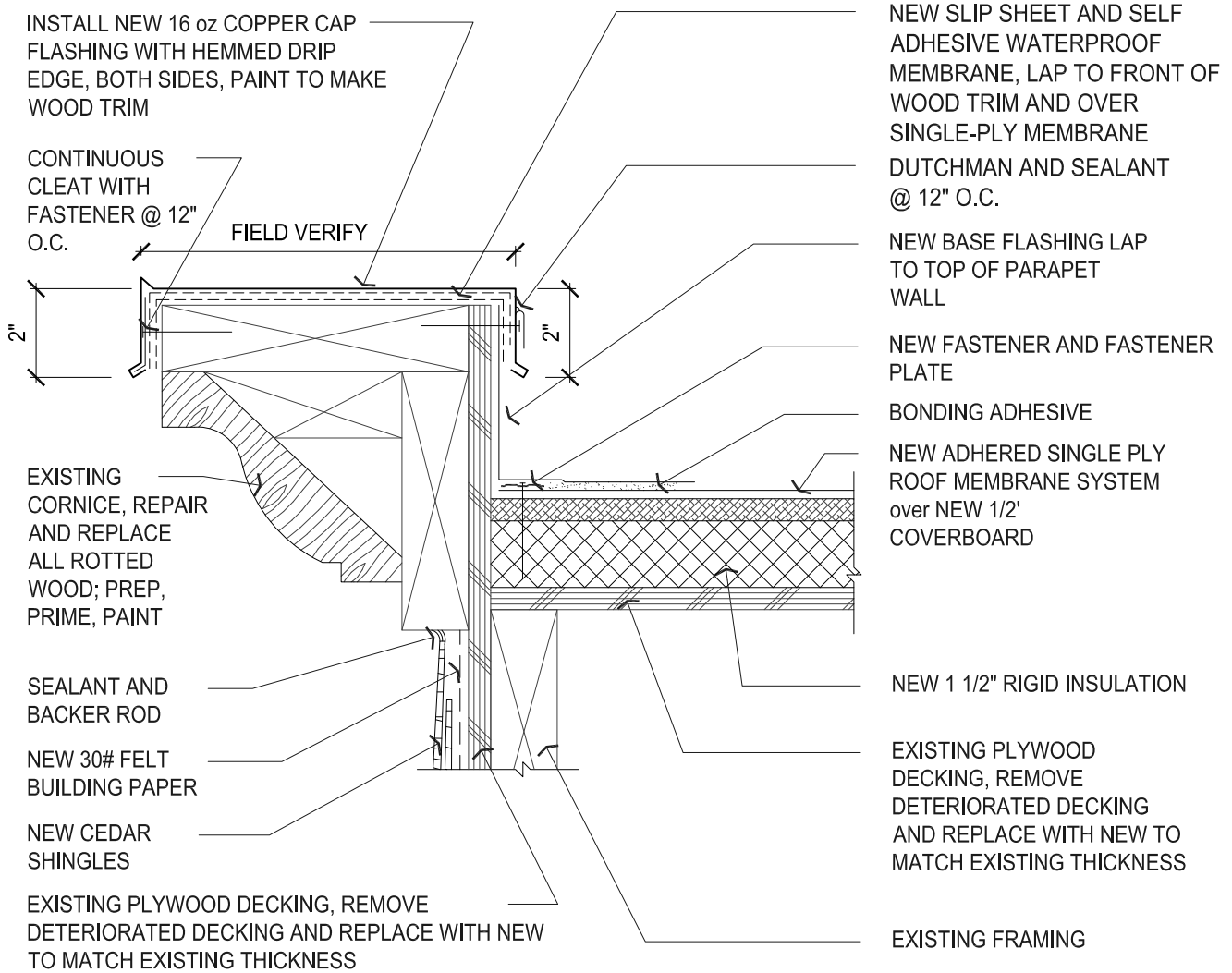
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A23

SHEET NO.



1

COPING AT BASE FLASHING

3" = 1' - 0"

004TW15

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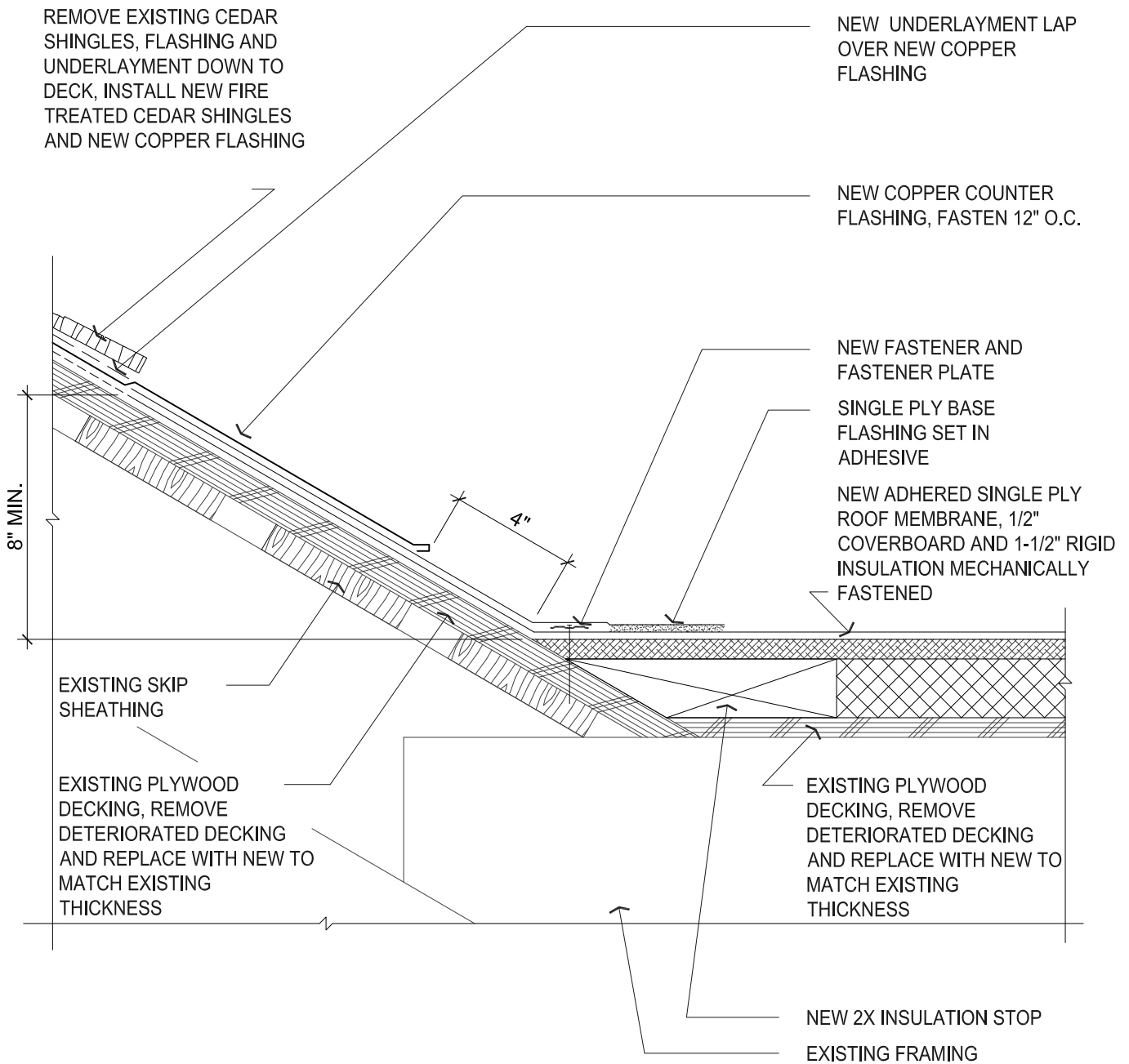
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A24

SHEET NO.



1

FLASHING AT SLOPE TRANSITION

3" = 1' - 0"

073TWW16

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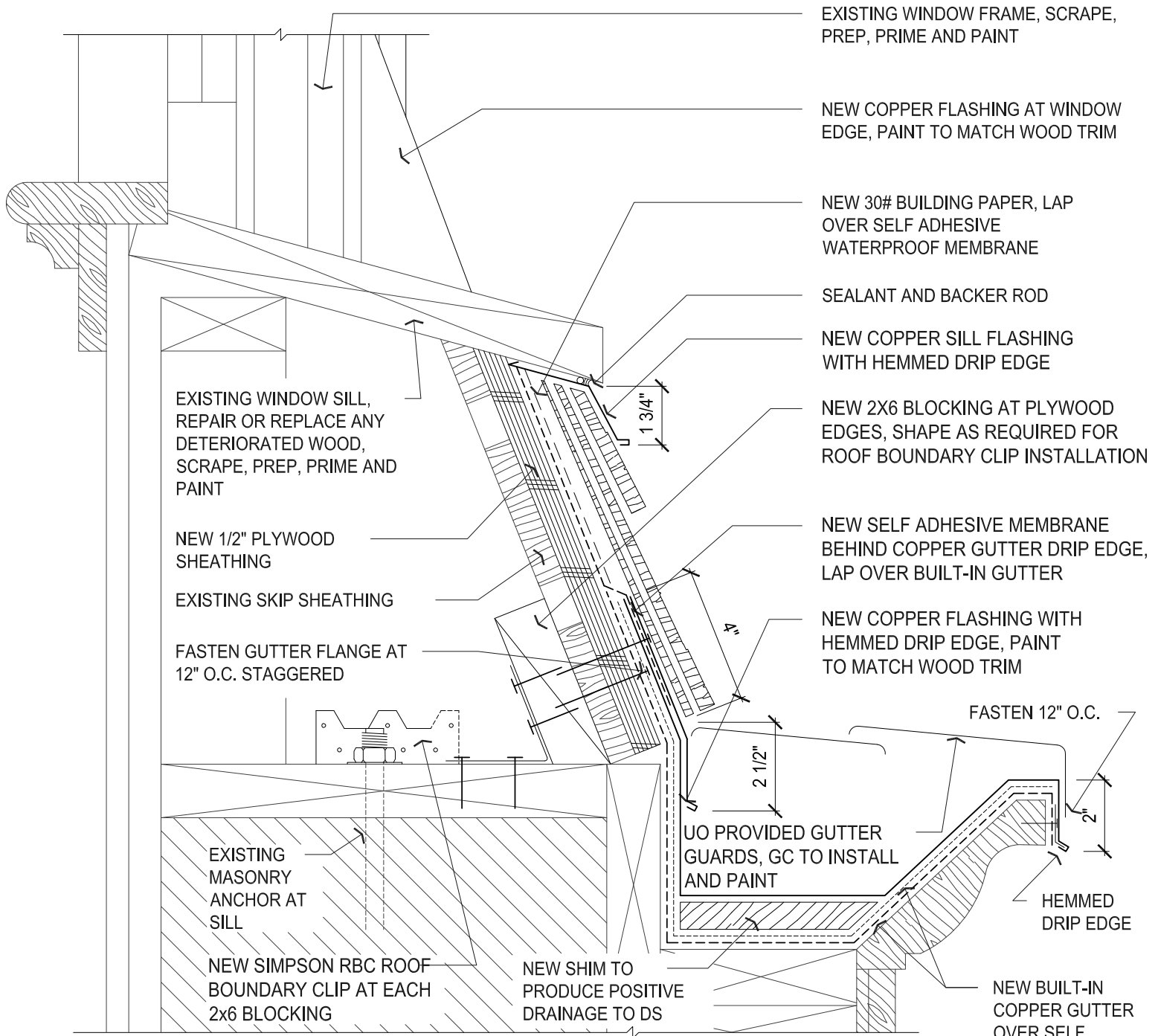
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A25

SHEET NO.



1

WINDOW SILL FLASHING

3" = 1' - 0"

073TWW17

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 EXT. RESTORATION 2013



A26
 SHEET NO.

NEW CEDAR SHINGLES

FASTEN NEW COPPER BUILT-IN GUTTER 12" O.C.

30# BUILDING PAPER LAPPED OVER SELF ADHESIVE MEMBRANE

NEW SELF ADHESIVE WATERPROOF MEMBRANE AND SLIP SHEET, EXTEND UP ROOF 24" MIN.

EXISTING PLYWOOD SHEATHING, REPLACE ANY DETERIORATED PIECES

NEW COPPER REGLET ALONG BRICK WALL BEYOND

NEW 16 OZ COPPER BUILT-IN GUTTER, PROVIDE 4" END DAM AT MASONRY WALLS BEHIND REGLET FLASHING

1 1/2"

CONT. CLEAT

EXISTING CORNICE, REPAIR AND REPLACE ALL ROTTED WOOD; PREP, PRIME, PAINT

FIELD VERIFY

FIELD VERIFY

NEW SHIM TO PRODUCE POSITIVE DRAINAGE TO DS

EXISTING FRAMING

1

BUILT-IN GUTTER

1 1/2" = 1' - 0"

073TWW18

SODERSTROM ARCHITECTS

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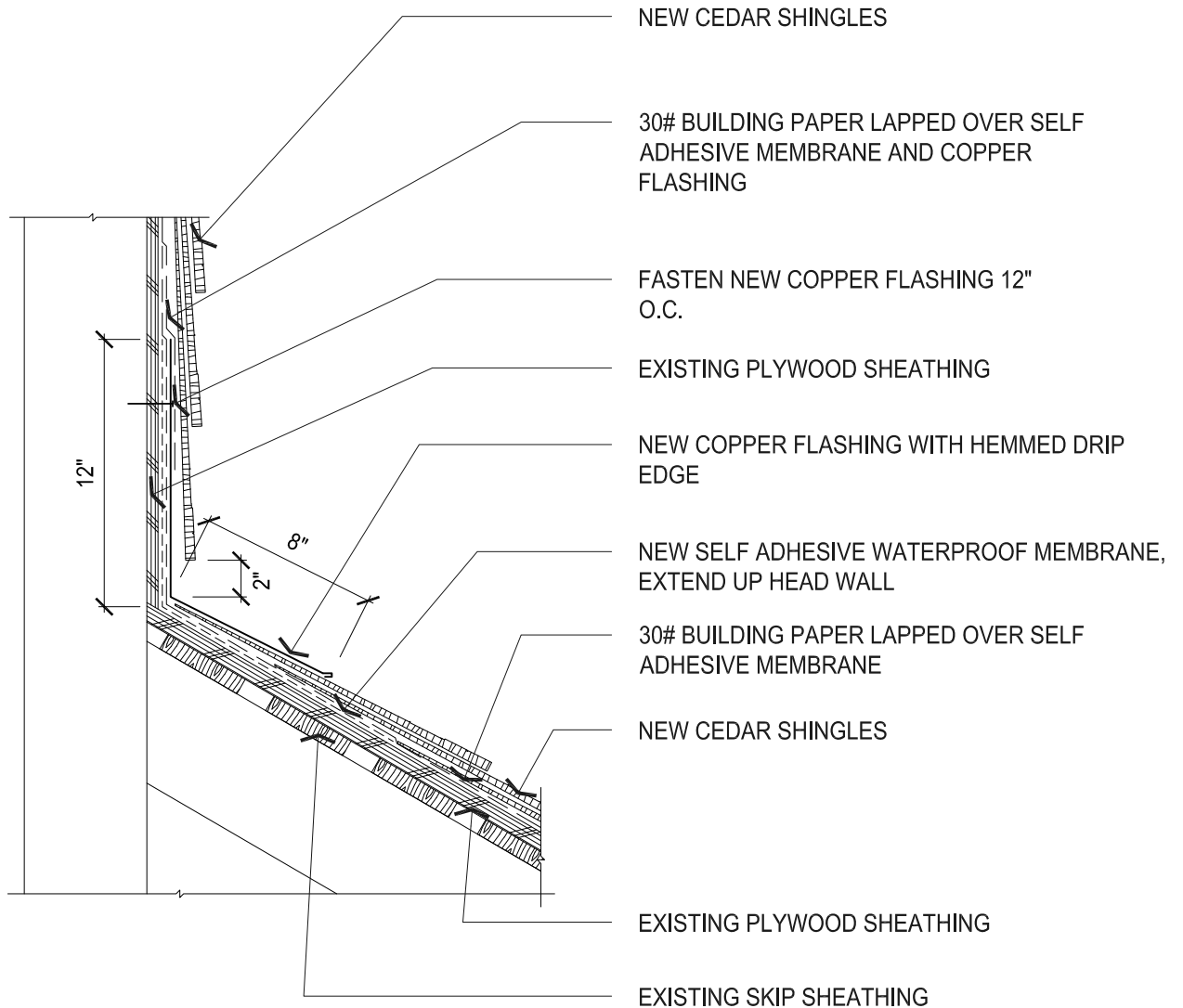
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A27

SHEET NO.



1

FLASHING AT HEAD WALL

1 1/2" = 1' - 0"

073TWW19

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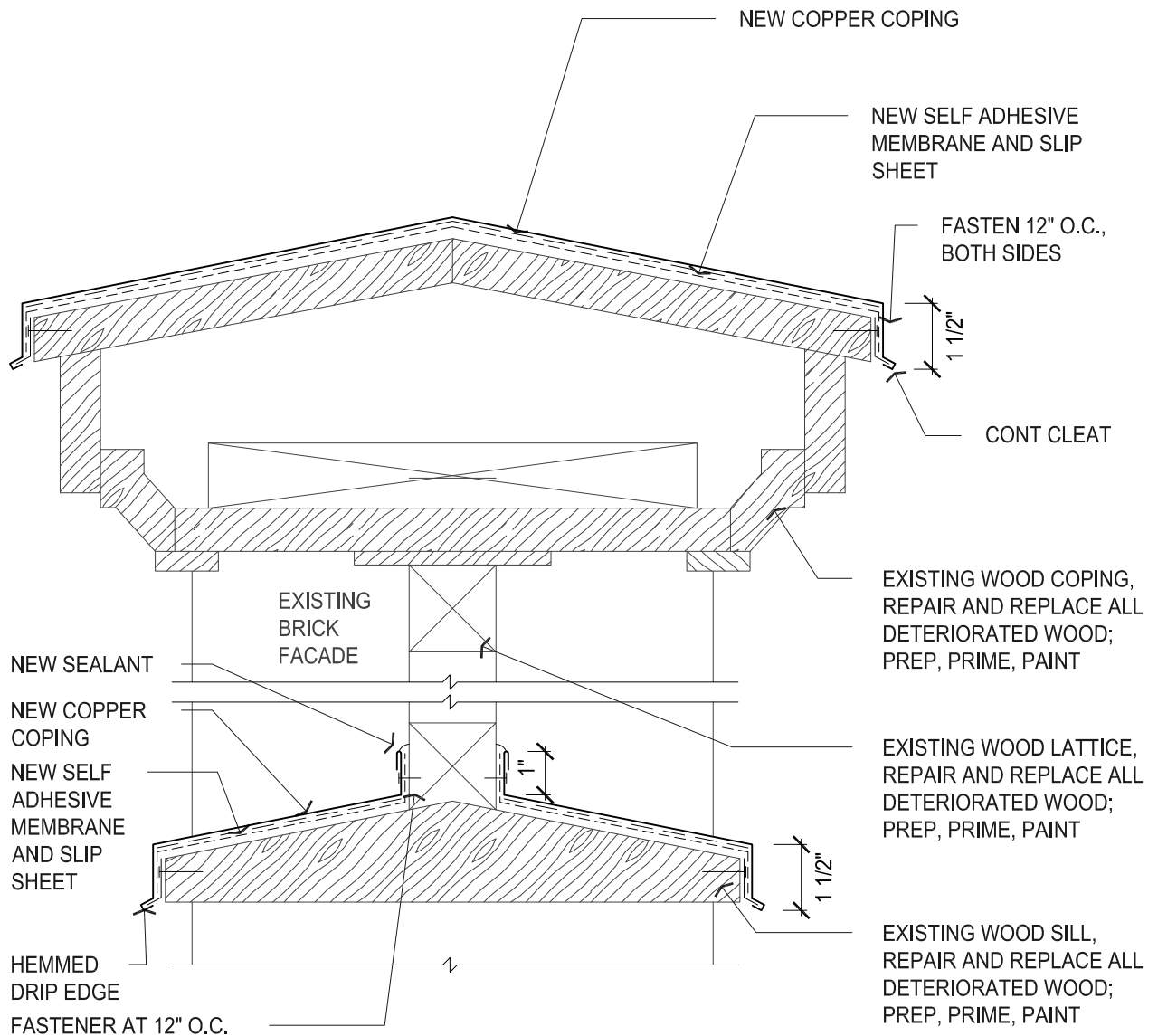
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A28

SHEET NO.



1

COPPER COPING AT CORNICE

3" = 1' - 0"

073TWW20

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A29

SHEET NO.

EXISTING MASONRY WALL

REMOVE EXISTING MORTAR, INSTALL NEW SEALANT

EXISTING TIN REGLET FLASHING, BEND OUT TO INSTALL NEW COPPER FLASHING, BEND BACK IN PLACE; WHERE REGLET FLASHING IS MISSING INSTALL NEW TO MATCH EXISTING

NEW SELF ADHESIVE MEMBRANE AND SLIP SHEET, LAP UP HEAD WALL

NEW COPPER ROOF WITH SOLDERED SEAMS; PAINT TO MATCH WOOD TRIM COLOR

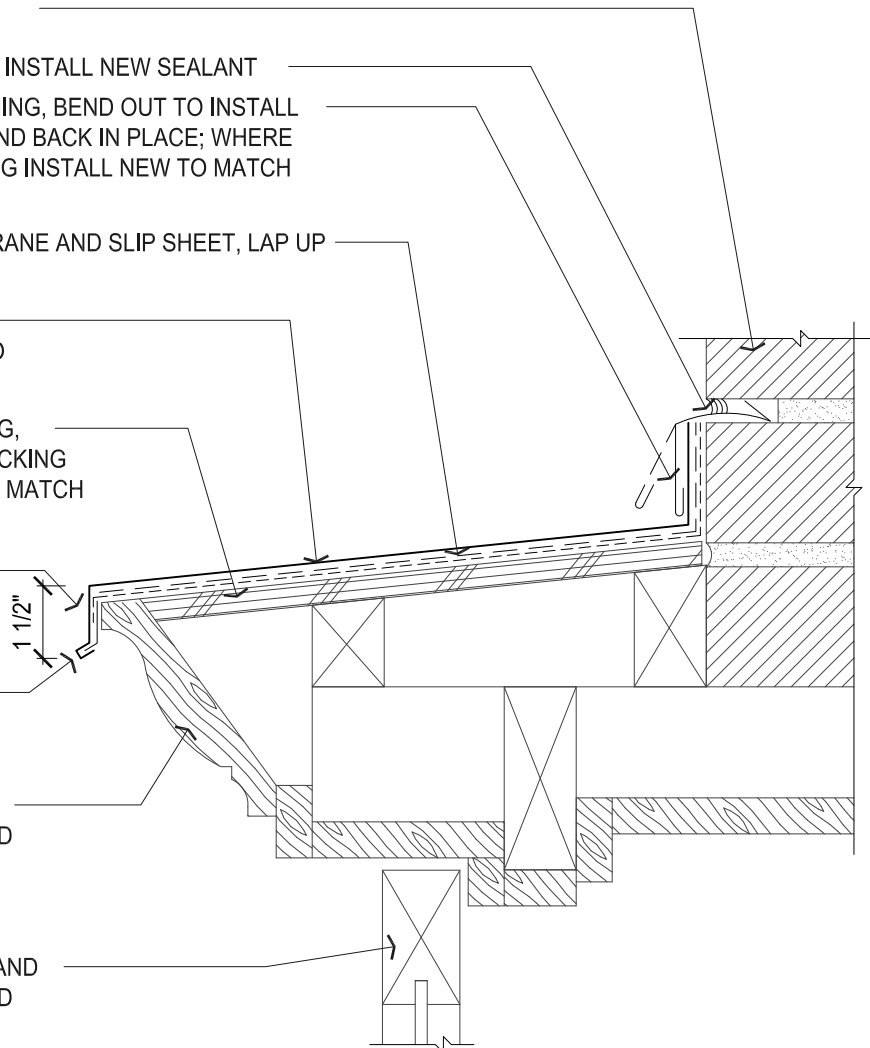
EXISTING PLYWOOD DECKING, REMOVE DETERIORATED DECKING AND REPLACE WITH NEW TO MATCH EXISTING THICKNESS

CONT. CLEAT, FASTEN 12" O.C.

HEMMED DRIP EDGE

EXISTING TRIM, REPAIR AND REPLACE ALL DETERIORATED WOOD; PREP, PRIME, PAINT

EXISTING WINDOW, REPAIR AND REPLACE ALL DETERIORATED WOOD; PREP, PRIME, PAINT



1

BAY WINDOW COPPER ROOF

3" = 1' - 0"

073TWW24

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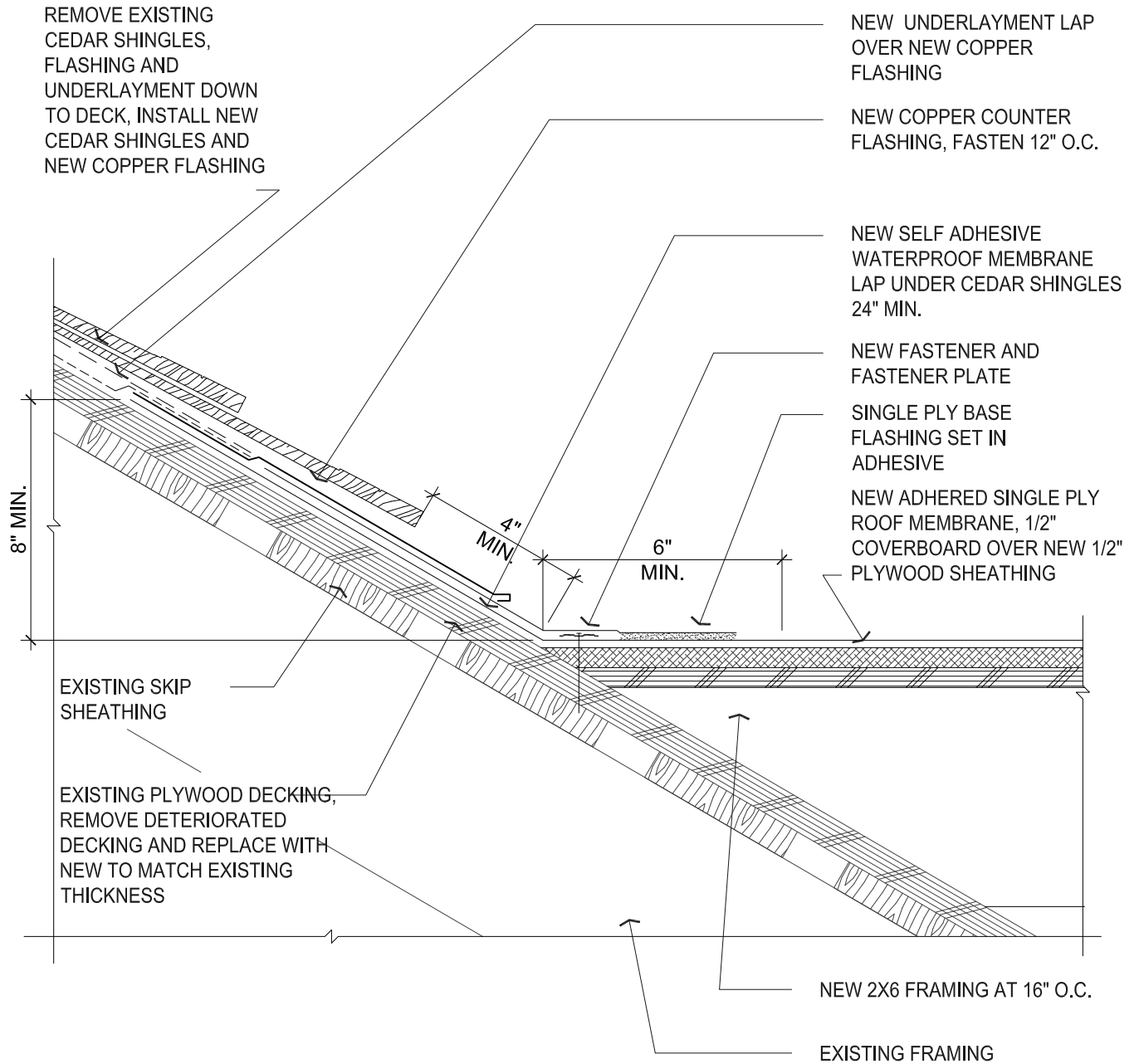
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A30

SHEET NO.



1

SLOPE TRANSITION AT CRICKET

3" = 1' - 0"

073TWW26

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A31

SHEET NO.

NOTE:
FIELD VERIFY EXISTING CONDITION PRIOR TO
INSTALLATION WITH OWNER AND ARCHITECT

EXISTING MASONRY WALL

REMOVE EXISTING MORTAR, INSTALL NEW SEALANT

REMOVE EXISTING SAW CUT TIN REGLET AT HEAD WALL,
PATCH MORTAR JOINT, INSTALL NEW COPPER SAW CUT
REGLET FLASHING WITH HEMMED DRIP EDGE, TRANSITION
WITH EXISTING REGLET FLASHINGS AT SIDE WALL

NEW 1/2" P.T. PLYWOOD BACKING ANCHORED TO
MASONRY WALL

NEW SINGLE-PLY BASE FLASHING LAP
UP HEAD WALL

NEW ADHERED SINGLE PLY
ROOF MEMBRANE SYSTEM over
NEW 1/2' COVERBOARD

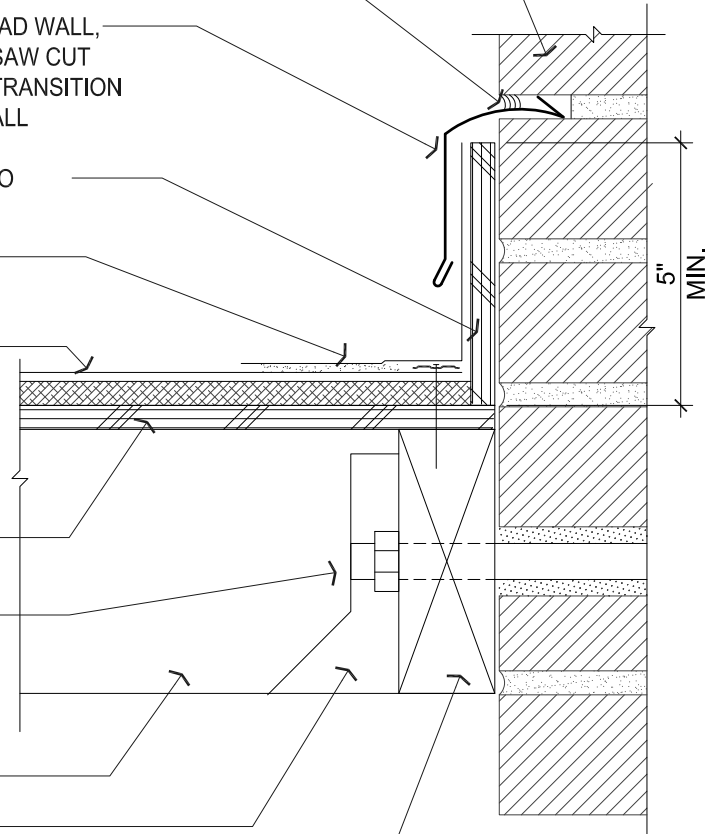
NEW 1/2" PLYWOOD SHEATHING

NEW 3/4" Ø ANCHOR BOLT AT 48" O.C. WITH
SIMPSON SET ANCHORING ADHESIVE

NEW 2X6 CRICKET FRAMING 16" O.C.

NEW SIMPSON 'U26' JOIST HANGER

NEW 3X6 LEDGER ANCHORED TO BRICK WALL



1

CRICKET TERMINATION AT BRICK

3" = 1' - 0"

073TWW27

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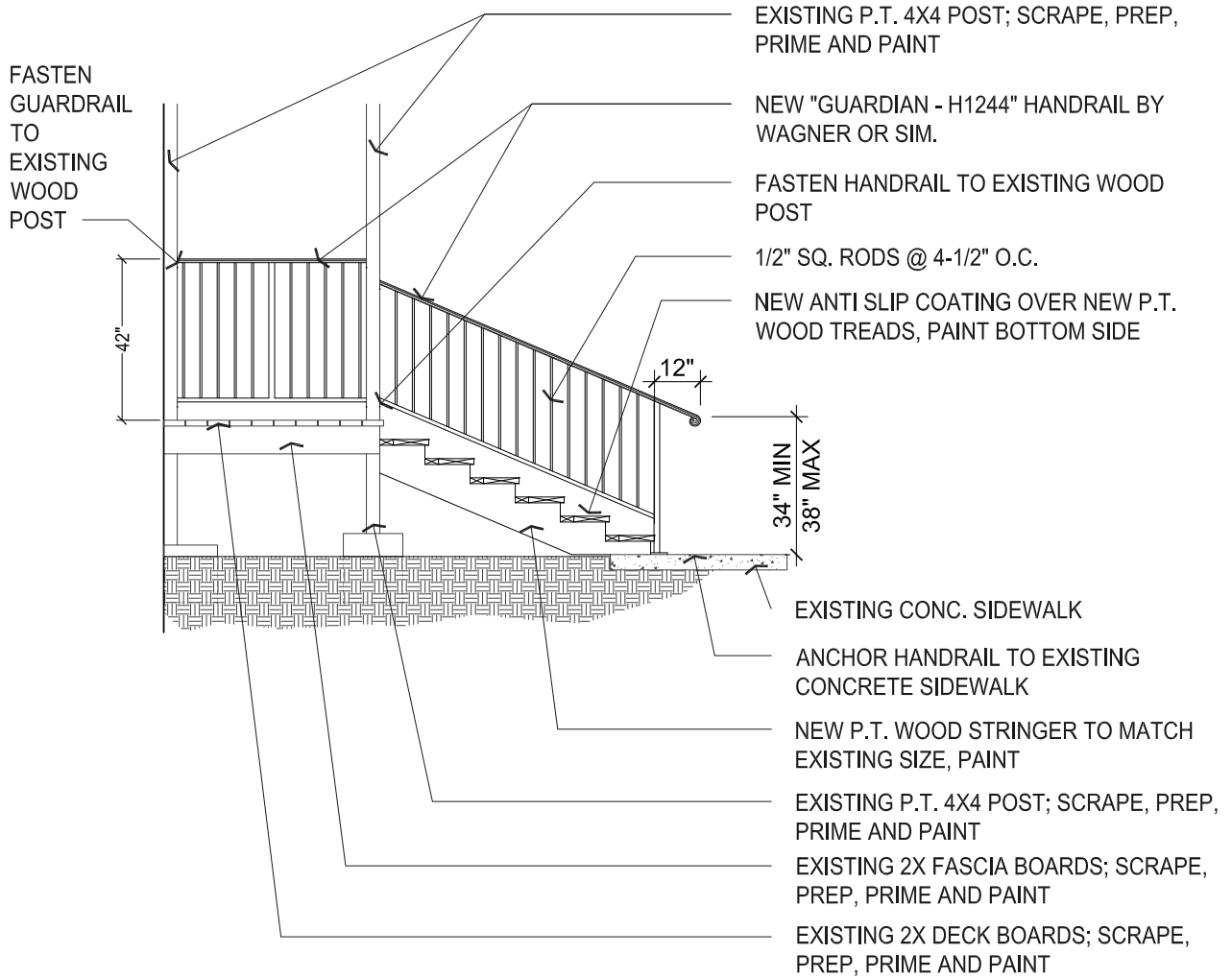
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A32

SHEET NO.



1

TREAD/ GUARDRAIL AT WD STEPS

1/4" = 1' - 0"

073TWW25

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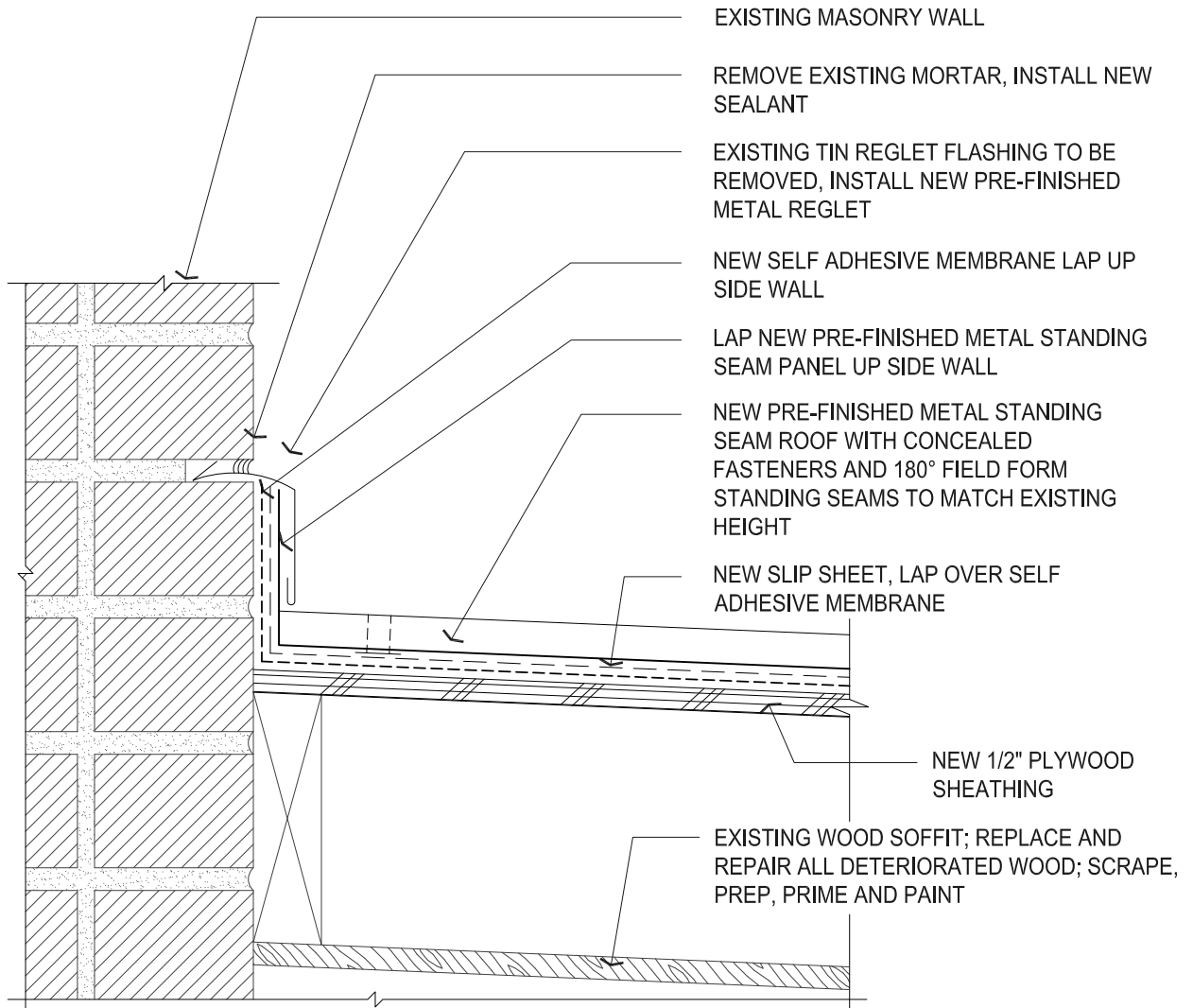
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A33

SHEET NO.



1

MTL. ROOF AT MASONRY WALL

3" = 1' - 0"

073TWW21

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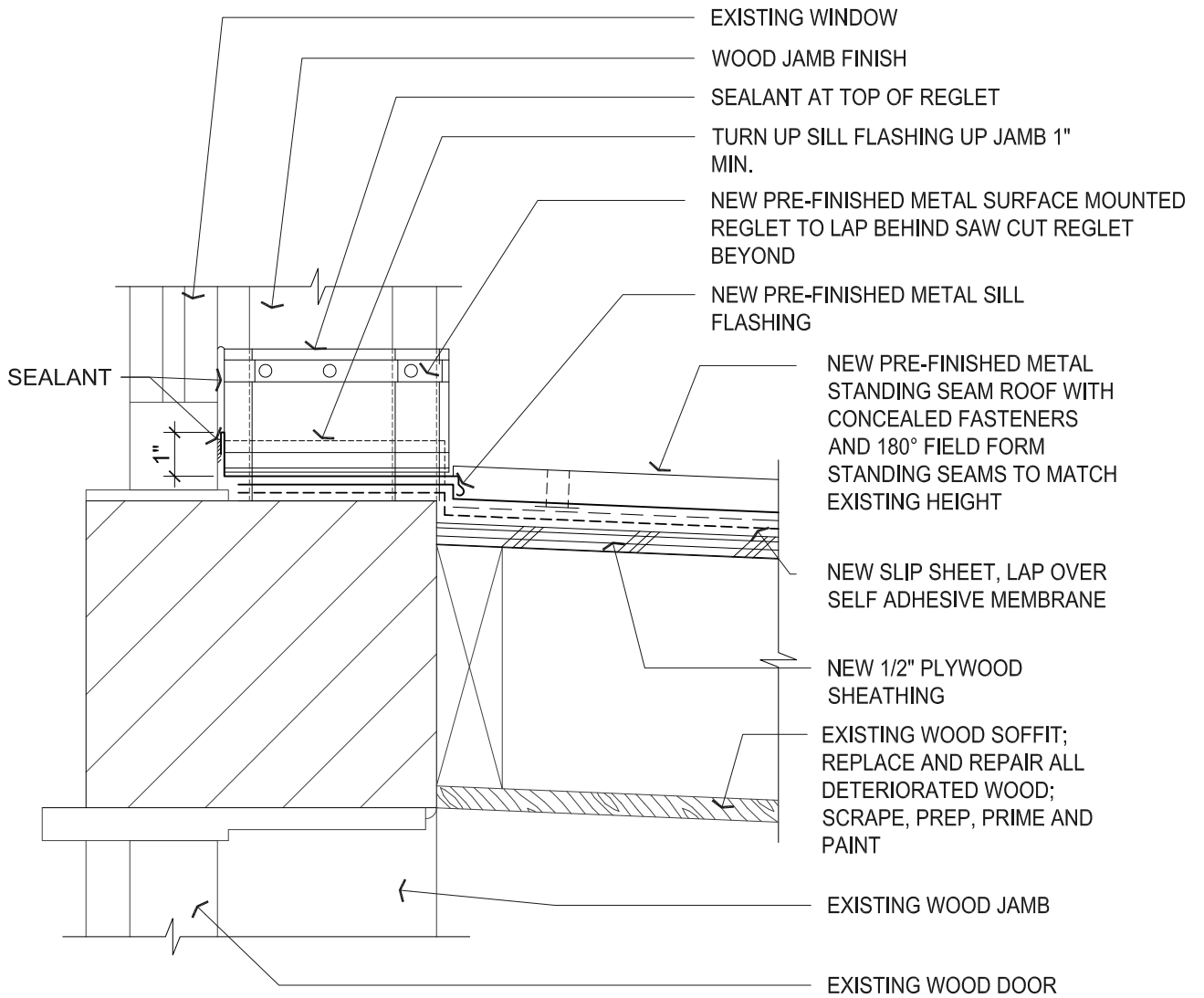
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A34

SHEET NO.



1

FLASHING AT WINDOW SILL

3" = 1' - 0"

073TWW21-2

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A35

SHEET NO.

NEW PRE-FINISHED METAL STANDING SEAM ROOF
WITH CONCEALED FASTENERS AND 180° FIELD
FORM STANDING SEAMS TO MATCH EXISTING
HEIGHT

NEW SLIP SHEET LAP OVER SELF
ADHESIVE MEMBRANE

NEW SELF ADHESIVE MEMBRANE, LAP
OVER EDGE

NEW
PRE-FINISHED
METAL EDGE
FLASHING

HEMMED DRIP
EDGE

NEW 1/2"
PLYWOOD
SHEATHING

EXISTING WOOD FASCIA; REPLACE
AND REPAIR ALL DETERIORATED
WOOD; SCRAPE, PREP, PRIME AND
PAINT

EXISTING WOOD SOFFIT; REPLACE AND
REPAIR ALL DETERIORATED WOOD; SCRAPE,
PREP, PRIME AND PAINT

3"

3/4"



MTL. ROOF AT RAKE

3" = 1' - 0"

073TWW22

SODERSTROM ARCHITECTS

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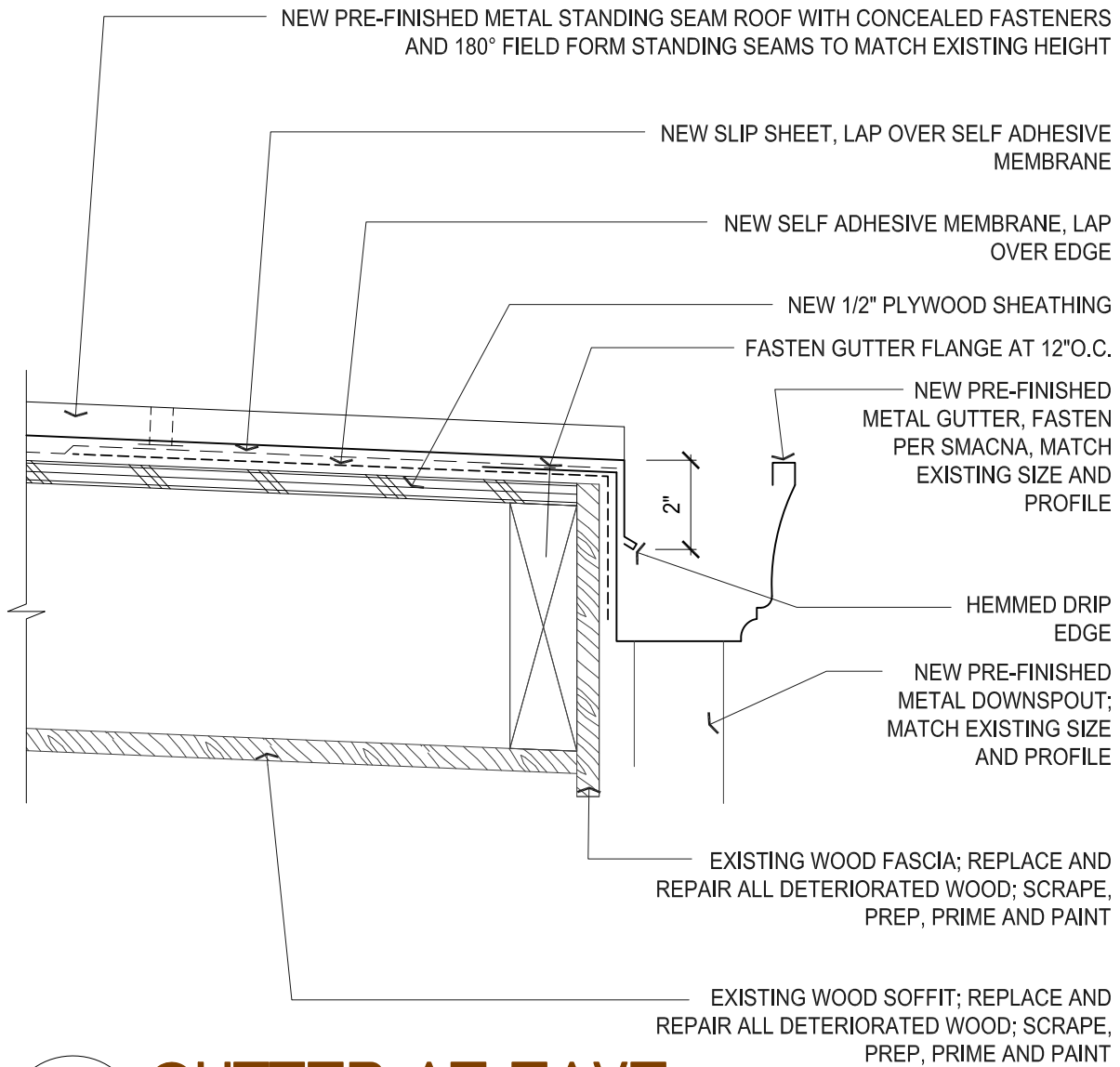
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A36

SHEET NO.



1

GUTTER AT EAVE

3" = 1' - 0"

073TWW23

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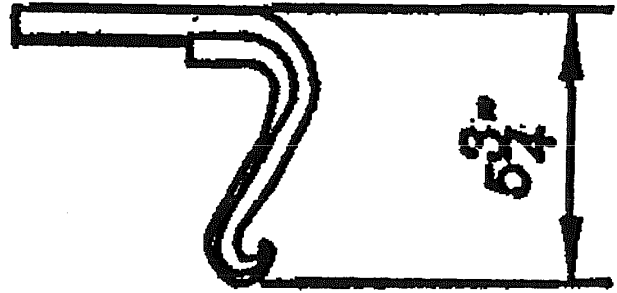
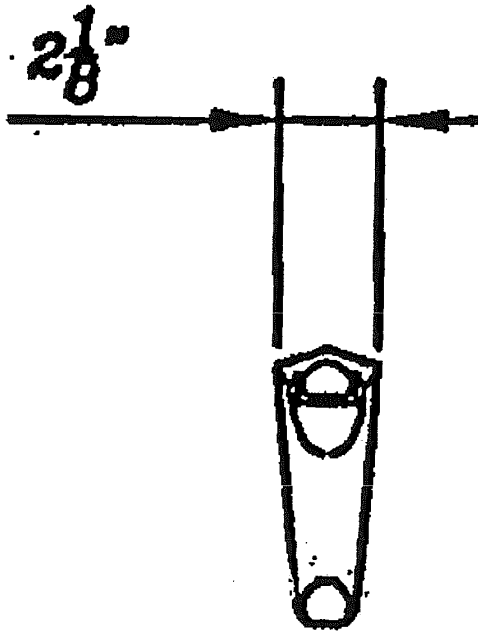
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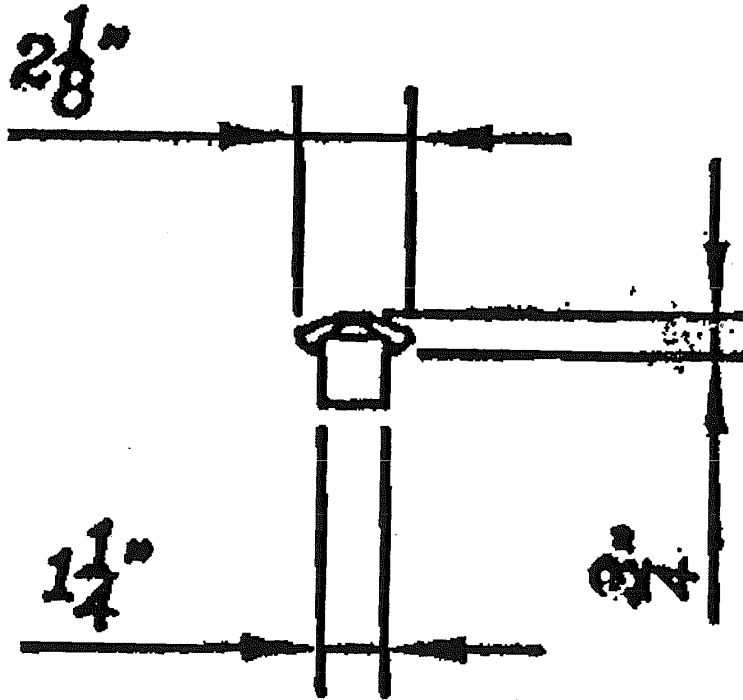
A37

SHEET NO.



NOTE :
 FOLLOW UO CAMPUS STANDARD
 HANDRAIL DESIGN FOR HISTORIC
 BUILDING, MARCH 2012

POWDER-COATED BLACK FINISH TO
 MATCH SUSAN CAMPBELL



1

UO HANDRAIL DESIGN STANDARD

1/4" = 1' - 0"

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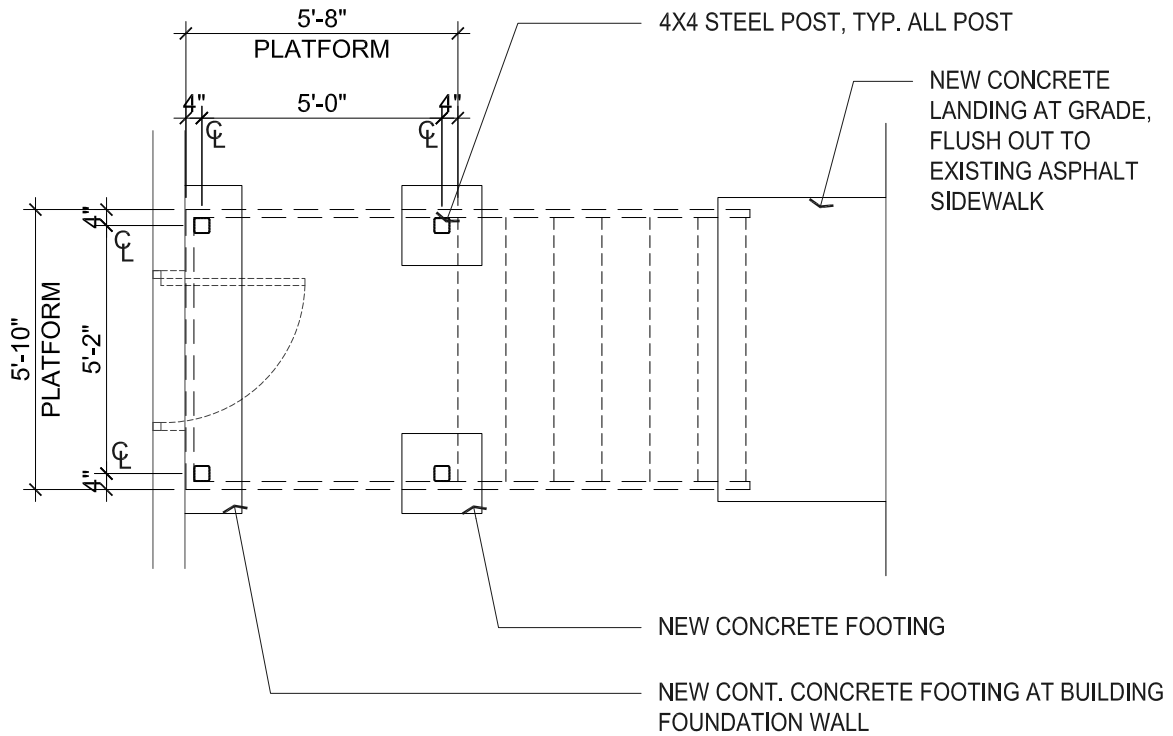
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 EXT. RESTORATION 2013



A38

SHEET NO.



ADD ALTERNATE #2 NEW EXT. STAIR FOOTING PLAN

1

1/4" = 1' - 0"

073TWW51

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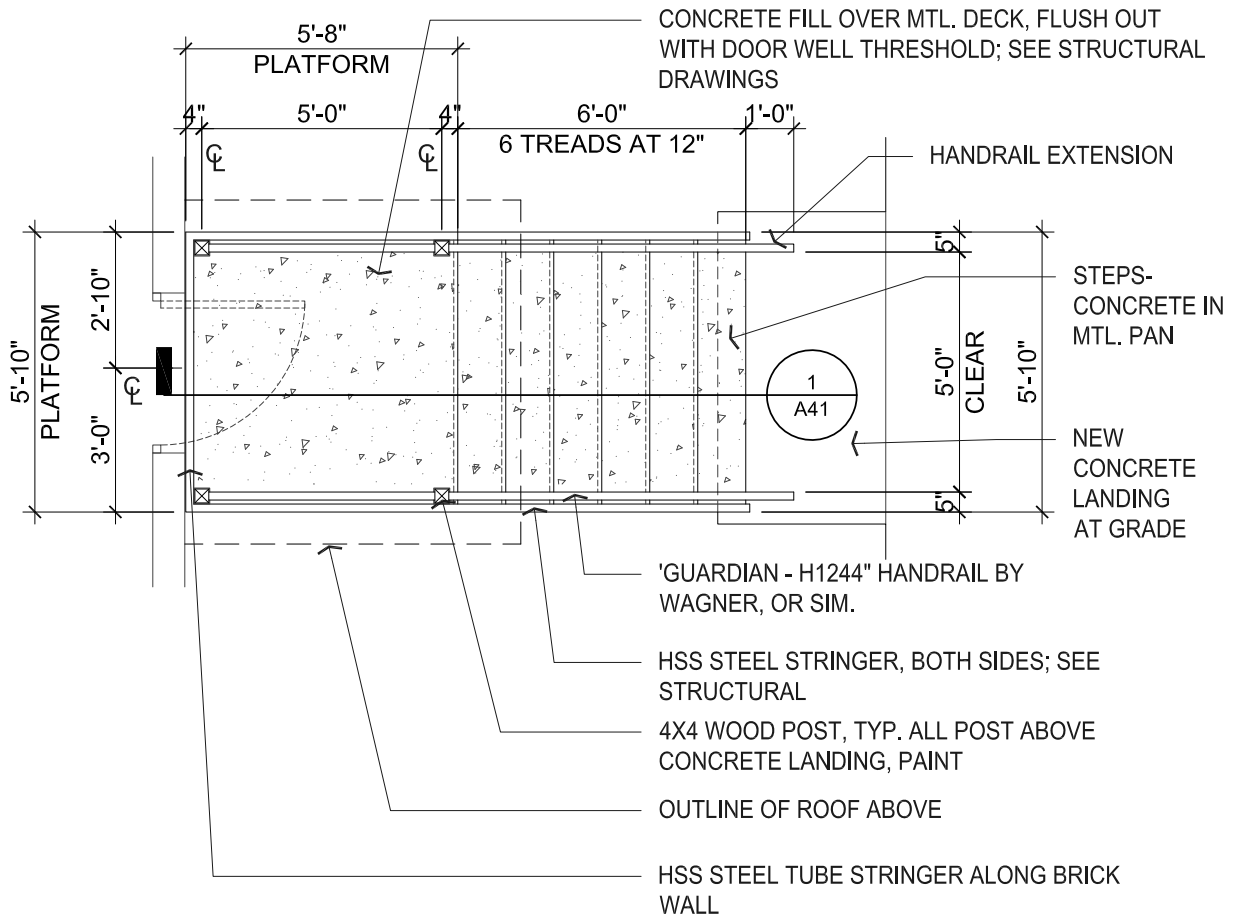
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EXT. RESTORATION 2013



A39

SHEET NO.



ADD ALTERNATE #2 NEW EXT. STAIR PLAN

1

1/4" = 1' - 0"

073TWW52

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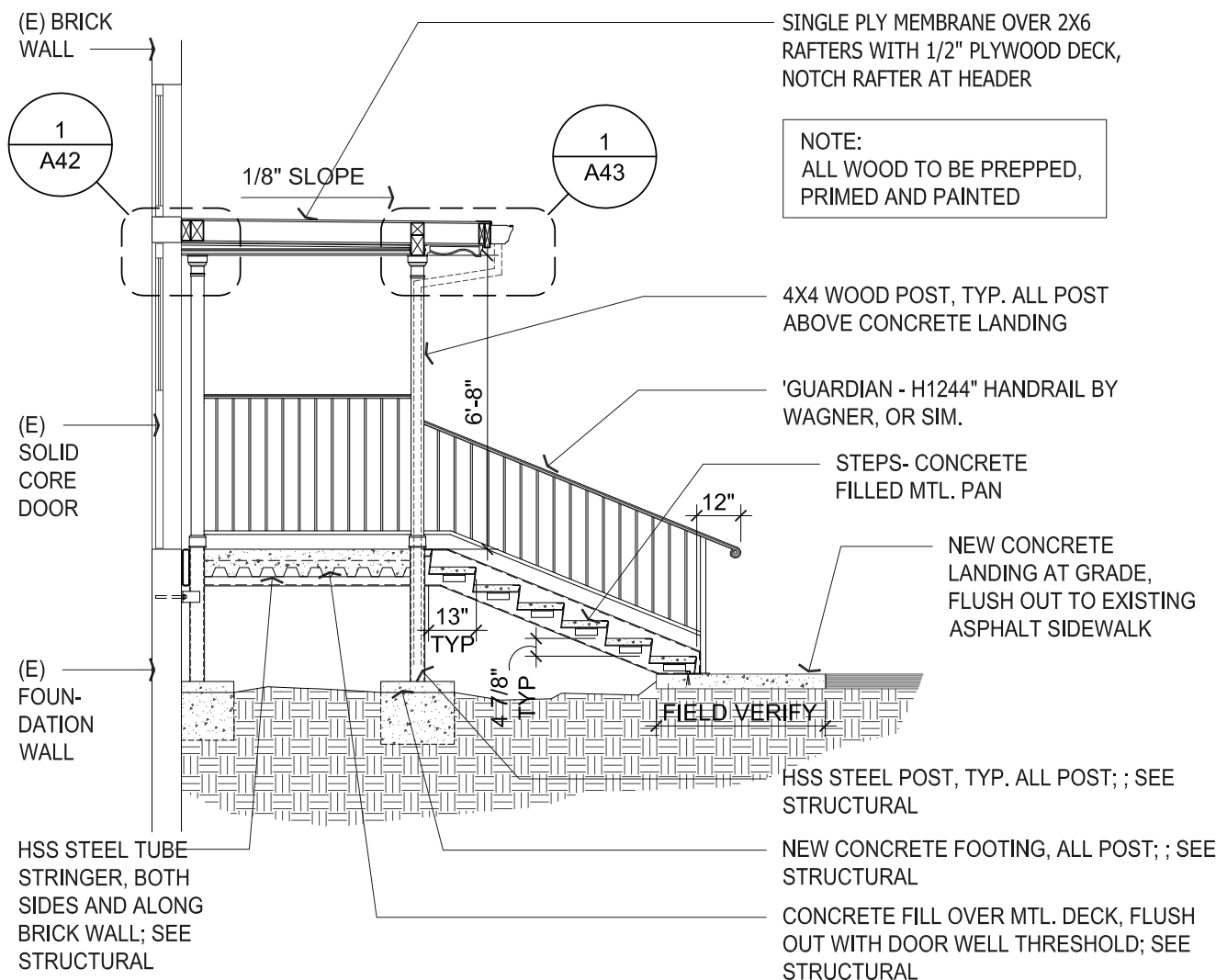
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HENDRICKS HALL
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A40

SHEET NO.



ADD ALTERNATE #2 NEW EXT. STAIR SECTION

1

1/4" = 1' - 0"

073TWW53

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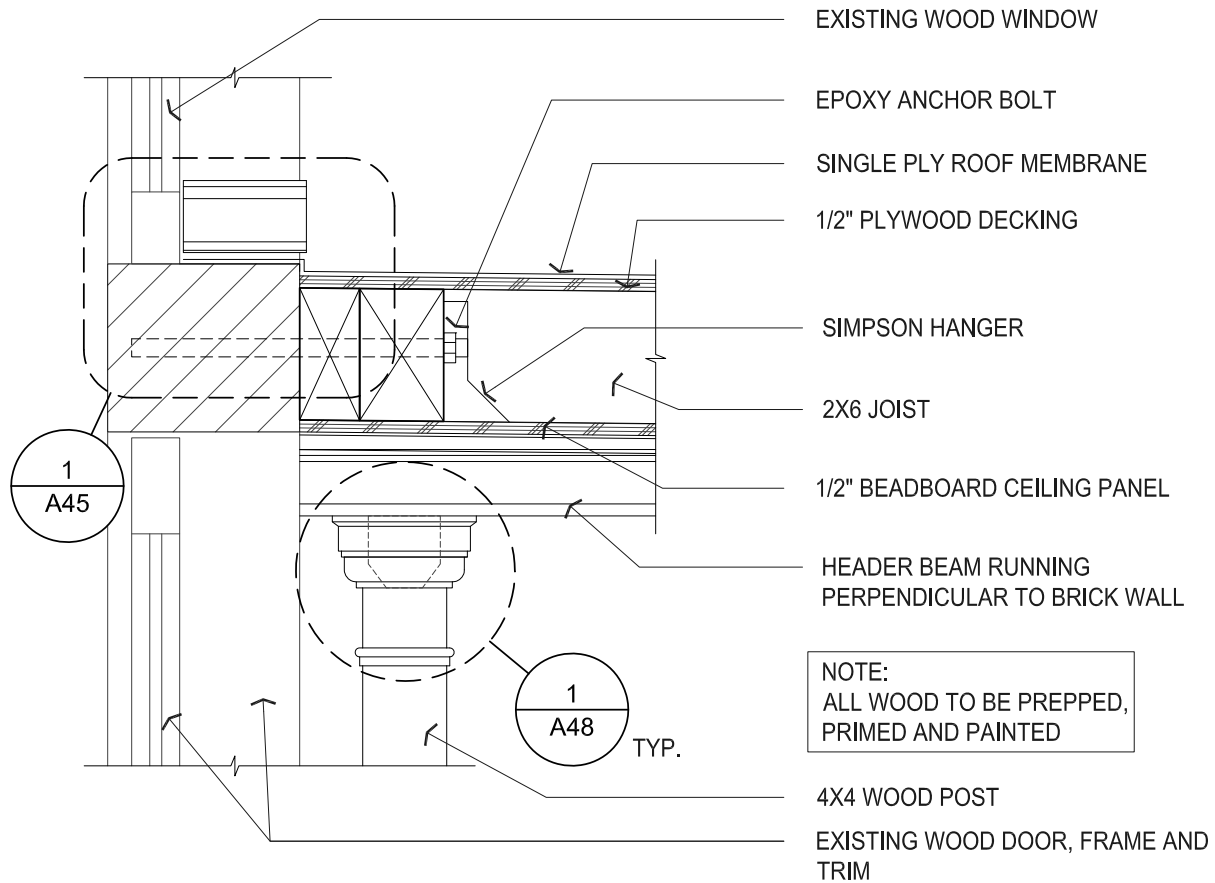
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DRAWN: TWW
JOB NO: 09073 DATE: 03/18/13

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A41
SHEET NO.



ADD ALTERNATE #2 STAIR CANOPY AT HEAD WALL

1

1'-1/2" = 1' - 0"

073TWW54

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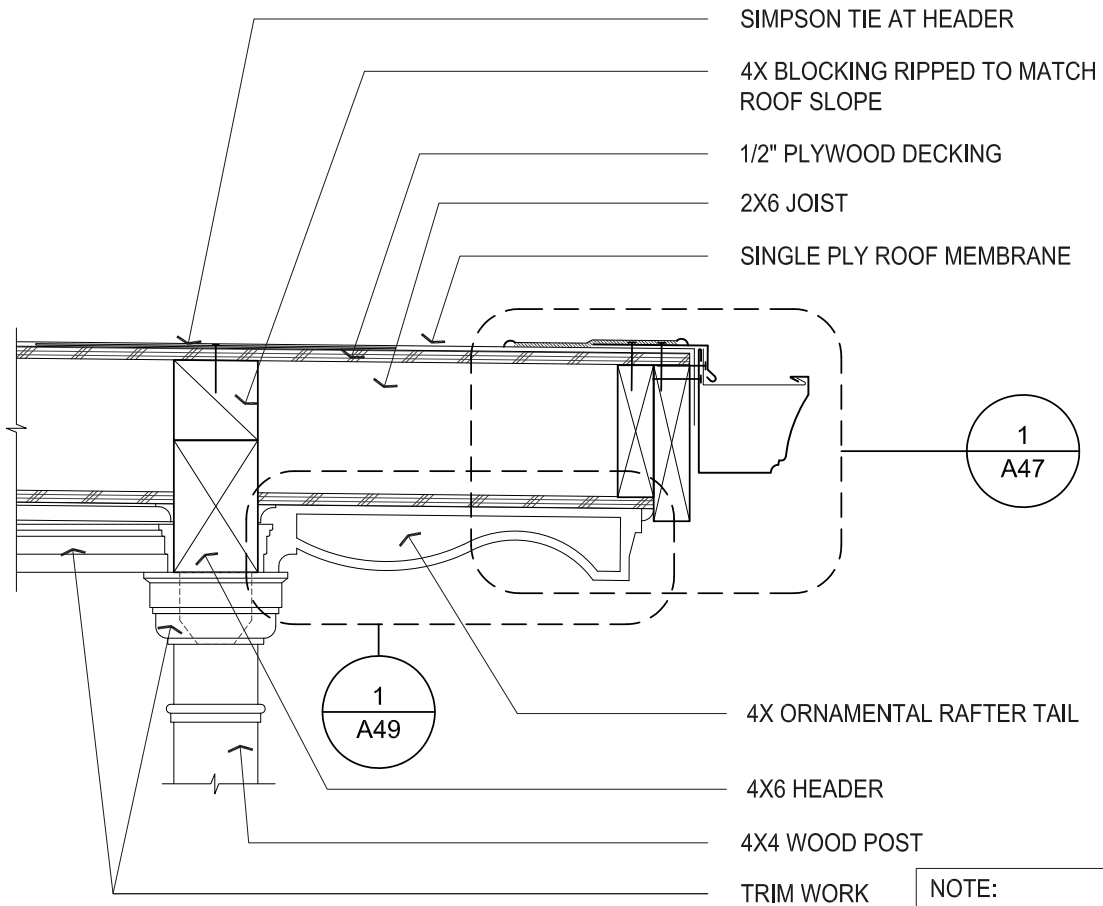
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A42

SHEET NO.



NOTE:
ALL WOOD TO BE
PREPPED, PRIMED
AND PAINTED

ADD ALTERNATE #2 EAVE AT NEW STAIR CANOPY

1

1-1/2" = 1' - 0"

073TWW55

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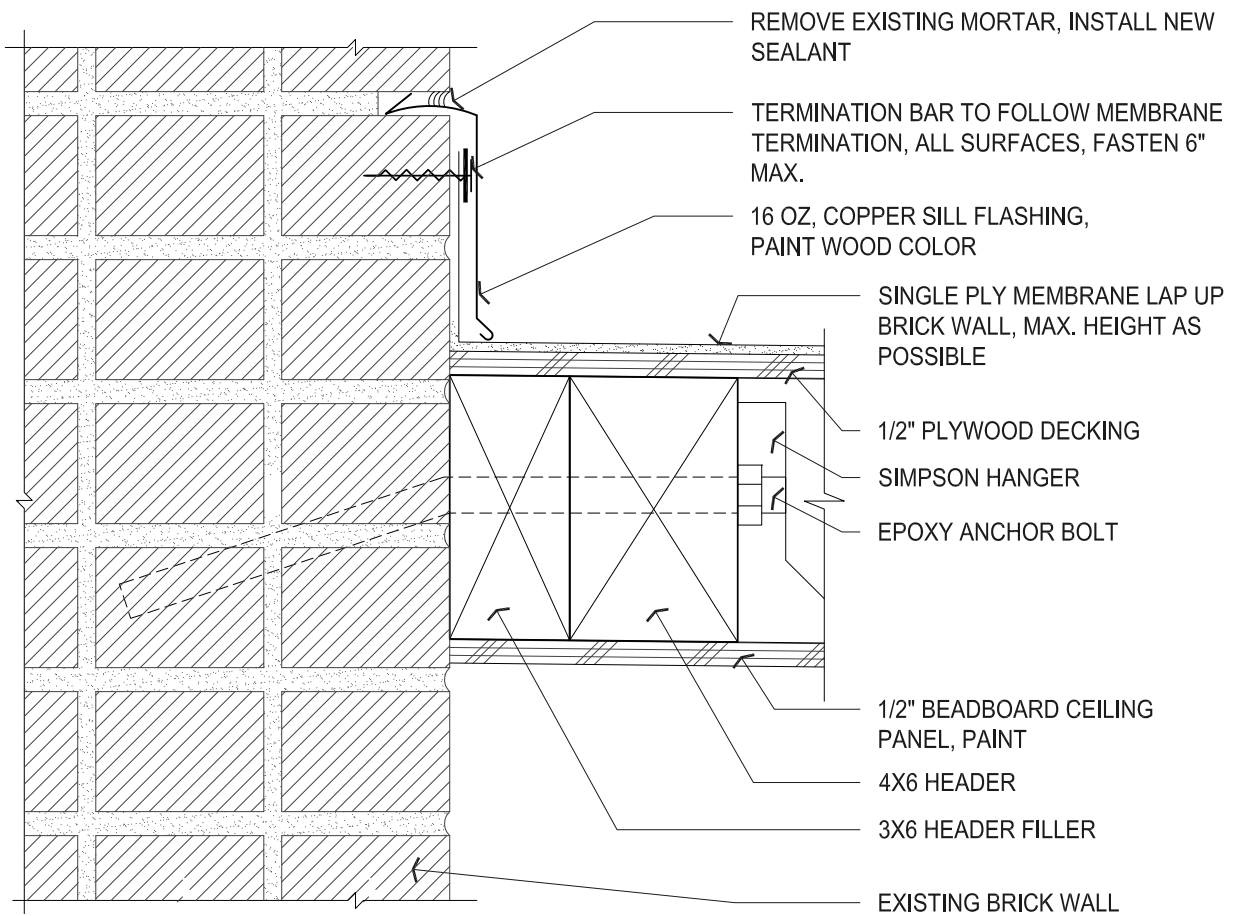
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A43

SHEET NO.



ADD ALTERNATE #2 FLASHING AT HEAD WALL

1

3" = 1' - 0"

073TWW56

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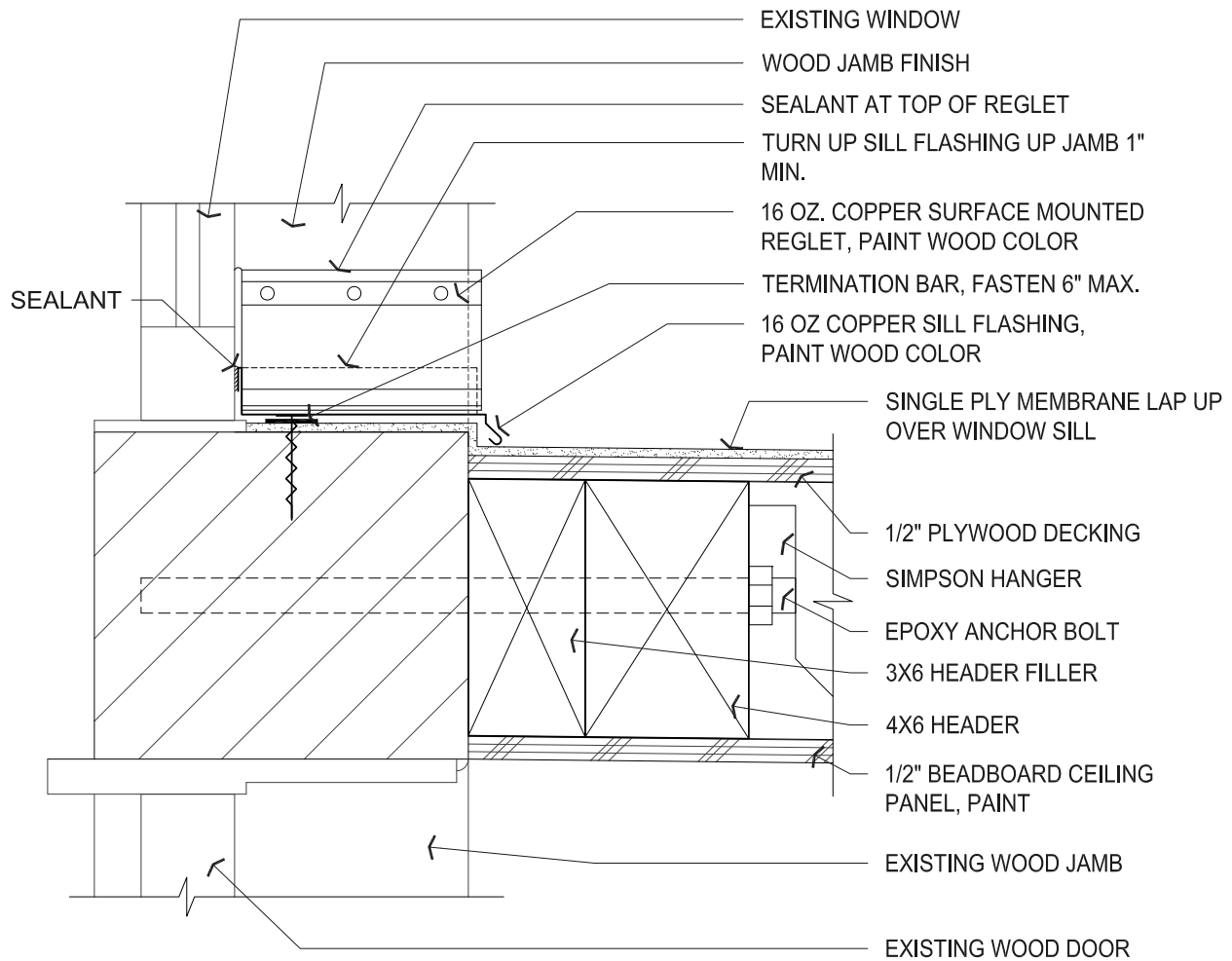
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A44

SHEET NO.



ADD ALTERNATE #2 FLASHING AT WINDOW SILL

1

3" = 1' - 0"

073TWW57

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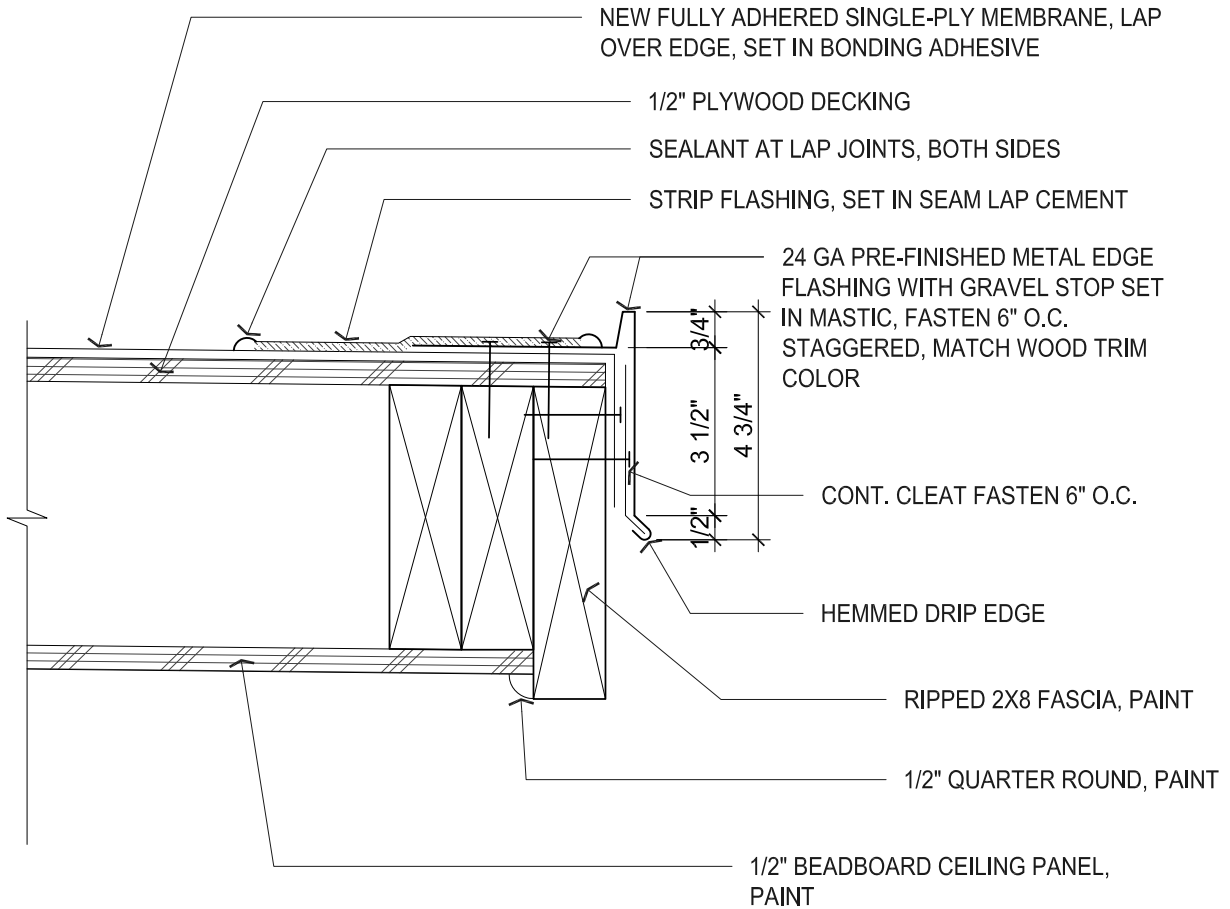
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A45

SHEET NO.



ADD ALTERNATE #2 EDGE FLASHING AT RAKE

1

3" = 1' - 0"

073TWW58

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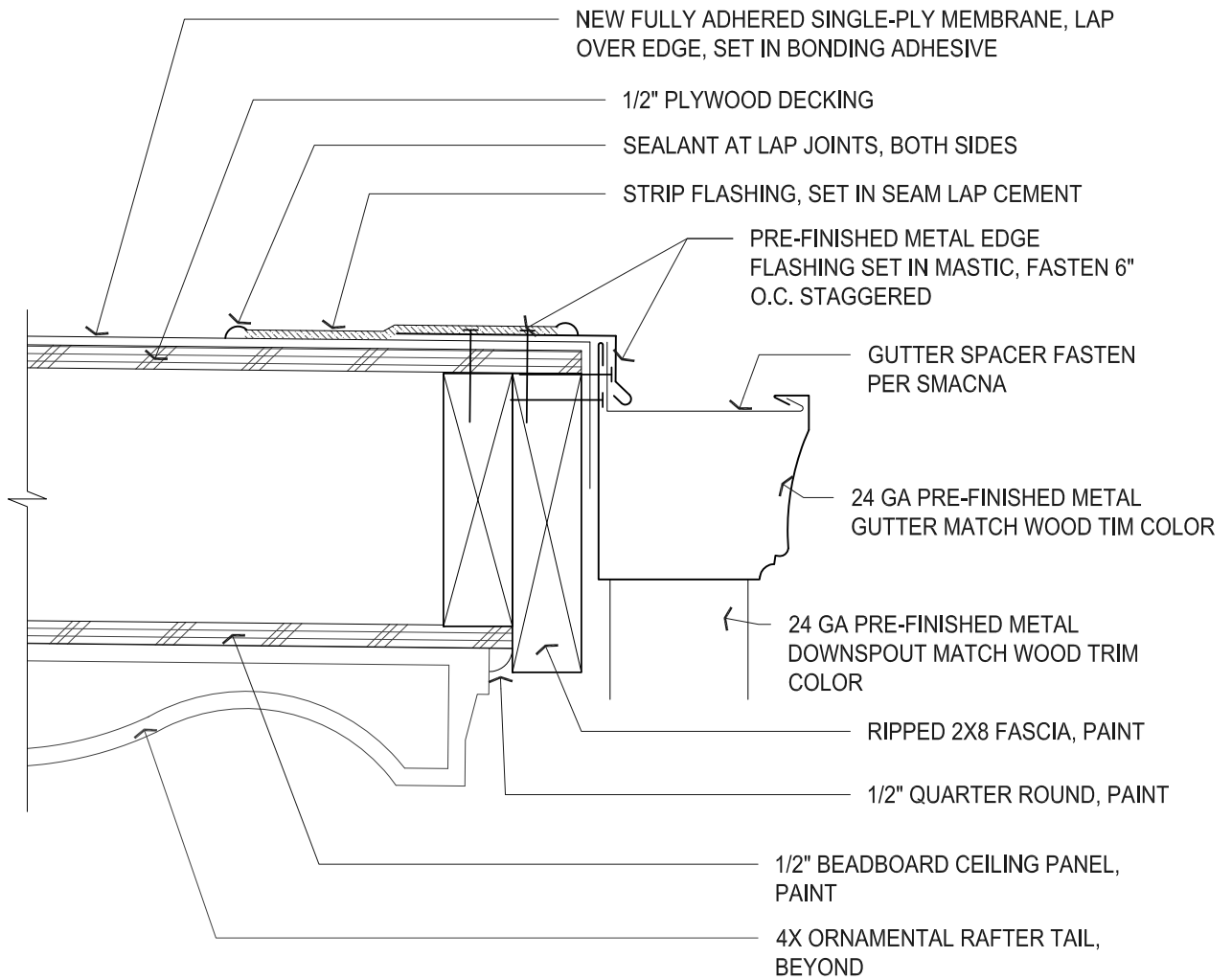
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A46

SHEET NO.



ADD ALTERNATE #2 GUTTER AT EAVE

1

3" = 1' - 0"

073TWW59

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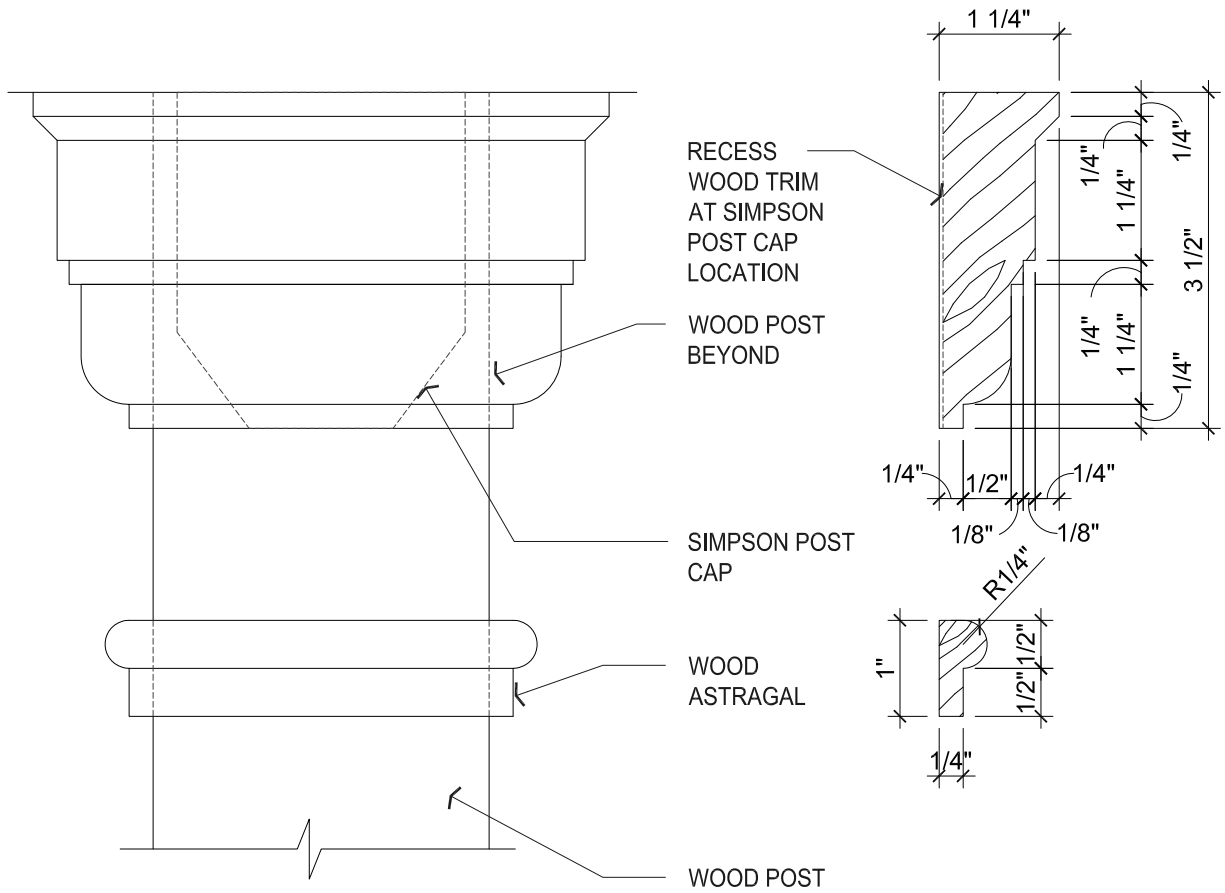
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A47

SHEET NO.



ADD ALTERNATE #2 WOOD TRIM CAPITAL AT POST

1

6" = 1' - 0"

073TWW60

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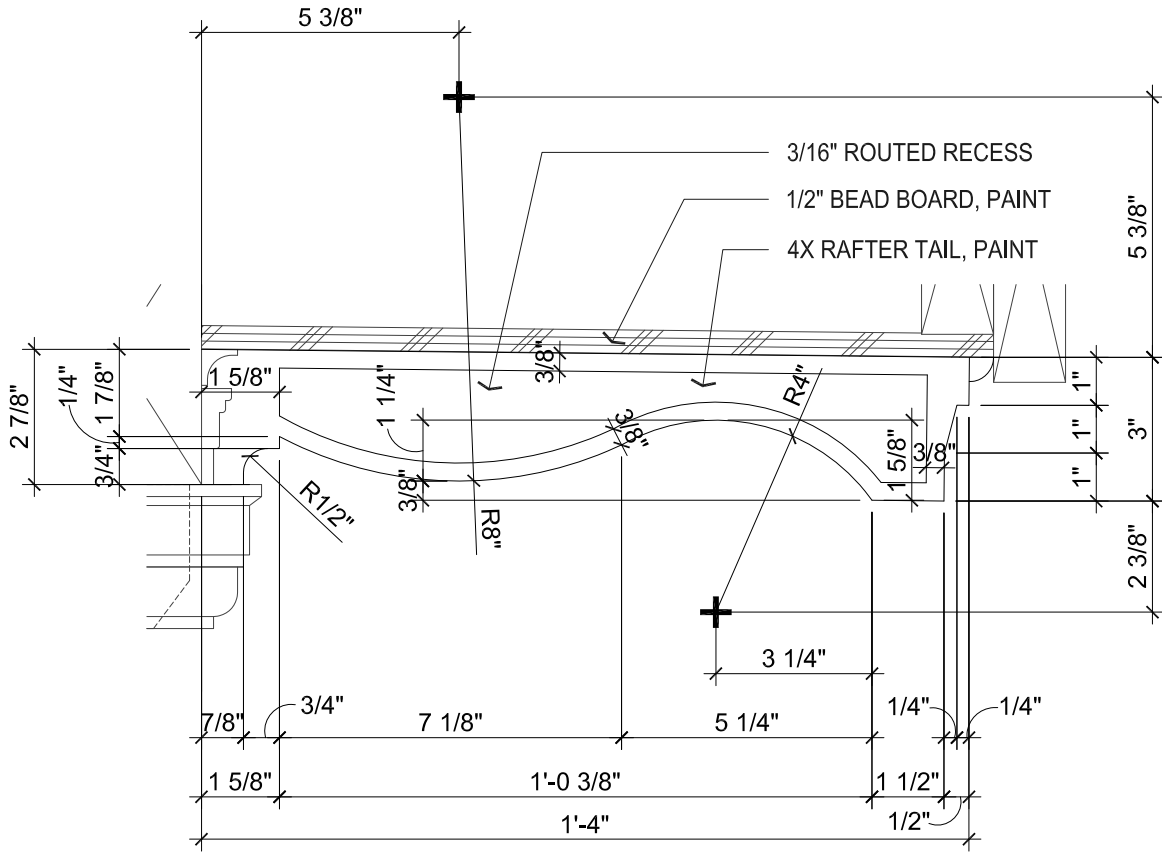
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A48

SHEET NO.



ADD ALTERNATE #2 ORNAMENTAL RAFTER TAIL

1

3" = 1' - 0"

073TWW61

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A49

SHEET NO.

GENERAL STRUCTURAL NOTES

CODE REQUIREMENTS:
CONFORM TO THE 2006 IBC AS AMENDED BY THE 2007 OREGON STRUCTURAL SPECIALTY CODE.

DESIGN CRITERIA:
DESIGN WAS BASED ON THE STRENGTH AND DEFLECTION CRITERIA OF THE 1991 UNIFORM BUILDING CODE. IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS WERE USED FOR DESIGN.

BASIC WIND SPEED (FASTEST MILE): 80 MPH
WIND IMPORTANCE FACTOR I_w : 1
WIND EXPOSURE: B

SEISMIC IMPORTANCE FACTOR I_e : 1.25
 S_D : .54
SEISMIC DESIGN CATEGORY: D

EXISTING CONDITIONS:
THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES FROM CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO THE START OF THE WORK.

TEMPORARY CONDITIONS:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE NEW AND EXISTING STRUCTURES AND WALLS DURING CONSTRUCTION. THE STRUCTURE SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR STABILITY UNDER THE FINAL CONFIGURATION ONLY.

SUBMITTALS:
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER PRIOR TO FABRICATION AND CONSTRUCTION REGARDING ALL STRUCTURAL STEEL ITEMS.

IF THE SHOP DRAWINGS DIFFER FROM, OR ADD TO THE DESIGN OF THE STRUCTURAL DRAWINGS, THEY SHALL BE CLEARLY IDENTIFIED. ANY CHANGES TO THE STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER AND ARE SUBJECT TO REVIEW AND ACCEPTANCE BY THE ENGINEER.

CAST-IN-PLACE CONCRETE:
MIX DESIGN: PREPARE DESIGN MIXES FOR EACH TYPE OF CONCRETE. PROPORTION MIXES BY EITHER LABORATORY TRIAL BATCH OR FIELD EXPERIENCE METHODS, USING MATERIALS TO BE EMPLOYED ON THE WORK FOR EACH CLASS OF CONCRETE REQUIRED. FURNISH CERTIFIED REPORTS OF EACH PROPOSED MIX FOR EACH TYPE OF WORK OF THIS SECTION. THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS, ALONG WITH TEST DATA AS REQUIRED, A MINIMUM OF TWO WEEKS PRIOR TO PLACING CONCRETE.

CONCRETE WORK SHALL CONFORM TO ACI 301. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD 28-DAY CYLINDER TESTS PER ASTM C39, AND SHALL BE AS FOLLOWS: 5 1/2 BACK MINIMUM CEMENT CONTENT.

FOOTINGS: $f'_c=2500$ PSI AT 28 DAYS; MAXIMUM SLUMP 3" PLUS OR MINUS 1"
EXTERIOR SLABS: $f'_c=3500$ PSI AT 28 DAYS; MAXIMUM SLUMP 3" PLUS OR MINUS 1"

CONCRETE REINFORCING STEEL:
REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 AND FOR DEFORMED BARS, UNLESS OTHERWISE NOTED. REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM A706. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A85.

MASONRY ACCESSORIES:
MASONRY EPOXY ANCHORS SHALL BE INSTALLED WITH "SIMPSON SET" PER ESR-1172 DATED 12-01-04 PER REPORT.

METALS:
ALL MISCELLANEOUS STEEL: ASTM A36 (FY=36,000 PSI), OR AS NOTED ASTM A572 (FY=50 KSI).
SQUARE AND RECTANGULAR HSS: ASTM A500, GRADE "B" (FY=46,000 PSI).
ANCHOR RODS: ASTM 1554 GRADE 36 UNLESS NOTED OTHERWISE.
THREADED RODS: ASTM A36 UNLESS NOTED OTHERWISE.
WELDING: PER AWS STANDARDS. E70XX ELECTRODE AND BY CERTIFIED WELDERS.
ALL STEEL TO HAVE SHOP COAT.
ALL EXPOSED STEEL BELOW FINISH GRADE TO BE COATED WITH ASPHALTIC PAINT PRIOR TO BACKFILLING.
ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.

DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE "AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS". WELDING SHALL CONFORM TO THE AWS CODES FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION AND SHALL BE 3/16" MINIMUM UNLESS OTHERWISE NOTED. WELDING SHALL BE BY AWS CERTIFIED WELDERS. PREQUALIFIED WELDING PROCEDURES ARE TO BE USED, UNLESS AWS QUALIFICATION IS SUBMITTED TO THE ARCHITECT/ENGINEER PRIOR TO FABRICATION.

METAL FLOOR DECK:
METAL DECK TO BE VERCO OR APPROVED EQUAL. SIZE, SHAPE AND CONNECTIONS TO BE PER DRAWINGS.

CARPENTRY:
SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED SHALL BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS AND ATTACHED PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS UNLESS NOTED OTHERWISE. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL FRAMING NAILS SHALL BE COMMON NAILS. NO BOX NAILS ALLOWED. FASTENERS AND ACCESSORIES IN CONTACT WITH PRESERVATIVE TREATED WOOD MUST BE HOT DIPPED GALVANIZED OR HAVE ZMAX COATING.

NAIL TYPE	LENGTH	DIAMETER
8d	2-1/2"	Ø.131"
10d	3"	Ø.148"
16d	3-1/2"	Ø.162"

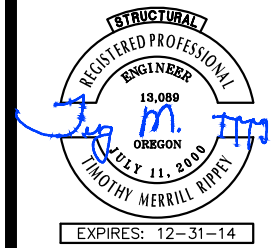
FLASHING AND WATERPROOFING:
ALL FLASHING AND WATERPROOFING SHALL BE BY OTHERS UNLESS NOTED OTHERWISE ON THE PLANS.

STRUCTURAL OBSERVATIONS:
STRUCTURAL OBSERVATIONS BY THE ENGINEER OF RECORD OR AN APPOINTED REPRESENTATIVE SHALL BE REQUIRED PRIOR TO CLOSURE OF FRAMING.

INSPECTION:
SPECIAL INSPECTIONS: IN ACCORDANCE WITH SECTION 1704 OF THE INTERNATIONAL BUILDING CODE AND APPLICABLE SECTIONS OF THE PROJECT DRAWINGS & SPECIFICATIONS. SPECIAL INSPECTIONS ARE TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY EMPLOYED BY THE OWNER FOR THE AREAS INDICATED IN THE SPECIAL INSPECTION PROGRAM.

SPECIAL INSPECTION PROGRAM			
ESTABLISHED PER 2006 IBC SECTION 109 & CHAPTER 17			
ITEM	CONTINUOUS	PERIODIC	COMMENTS
GENERAL STRUCTURAL INSPECTIONS AS REQUIRED BY SECTION 109			
FINAL INSPECTION			BY BUILDING OFFICIAL
STEEL			
MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS, AND WASHERS		X	REFERENCE APPLICABLE ASTM MATERIAL SPECIFICATIONS; AISC 360, SECTION A3.3
HIGH STRENGTH BOLTING		X	IBC 1704.3.3, AISC 360 SECTION M2.5 (CONTINUOUS INSPECTION FOR SLIP CRITICAL)
MATERIAL VERIFICATION OF STRUCTURAL STEEL			IBC 1708.4, ASTM A 6 OR ASTM A 568
COMPLIANCE OF STEEL FRAME JOINTS TO CONSTRUCTION DOCUMENT DETAILS		X	IBC 1704.3.2
WELDING: STRUCTURAL STEEL			
MATERIAL VERIFICATION OF WELD FILLER MATERIALS			AISC 360, SECTION A3.5
COMPLETE AND PARTIAL PENETRATION	X		
MULTIPASS FILLET WELDS	X		
SINGLE PASS FILLETS > 5/16"	X		IBC 1704.3.1, AWS D1.1
SINGLE PASS FILLETS ≤ 5/16"		X	
FLOOR AND ROOF DECK WELDS		X	AWS D1.3
WELDED STUDS		X	IBC 1704.3
WELDING OF STAIRS AND RAILING SYSTEMS		X	IBC 1704.3
CONCRETE			
REINFORCING SIZE AND PLACEMENT		X	ACI 318: 3.5, 7.1-7.7
BOLTS TO BE INSTALLED PRIOR TO AND DURING CONCRETE PLACEMENT (FOR ALLOWABLE STRESS INCREASE)	X		OSSC 1911.5
VERIFY USE OF REQUIRED DESIGN MIX		X	OSSC 1904.2.2, 1913.2-3; ACI 318: CH. 4, 5.2-5.4
PREPARATION OF TEST SPECIMENS	X		ASTM C 172, ASTM C 31, ACI 318: 5.6, 5.8
CONCRETE PLACEMENT	X		OSSC 1913.6-8; ACI 318: 5.9, 5.10
MAINTENANCE OF SPECIFIED CURING TEMPERATURES AND TECHNIQUES		X	OSSC 1913.9; ACI 318: 5.11-5.13
APPLICATION OF PRESTRESSING FORCES	X		ACI 318: 18.20
GROUTING OF BONDED PRESTRESSING	X		ACI 318: 18.18.4
TENDONS IN SEISMIC RESISTANCE SYSTEMS			
ERECTION OF PRECAST CONCRETE MEMBERS		X	ACI 318: CH. 16
VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO STRESSING OF TENDONS IN POSTTENSIONED CONCRETE		X	ACI 318: 6.2
VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS		X	
INSPECT FORM WORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED		X	ACI 318: 6.1.1
EPOXY OR ADHESIVE ANCHOR PLACEMENT	X		
EXPANSION OR SCREW ANCHOR PLACEMENT	X		WHERE INDICATED ON DRAWINGS
ANCHORS			
EPOXY OR ADHESIVE ANCHOR PLACEMENT	X		PER MANUFACTURER SPECIFICATIONS

DEFINITIONS:
A. CONTINUOUS INSPECTION MEANS THAT THE SPECIAL INSPECTOR IS ON SITE AT ALL TIMES OBSERVING THE WORK REQUIRING SPECIAL INSPECTION.
B. PERIODIC INSPECTION MEANS THAT THE SPECIAL INSPECTOR IS ON SITE AT TIME INTERVALS NECESSARY TO CONFIRM THAT THE WORK REQUIRING SPECIAL INSPECTION IS IN CONFORMANCE WITH APPROVED PERMIT PLANS AND SPECIFICATIONS.



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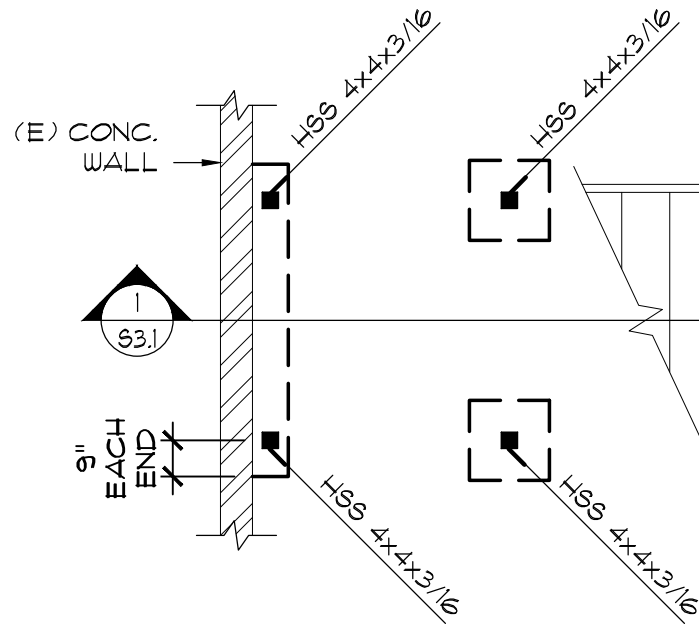
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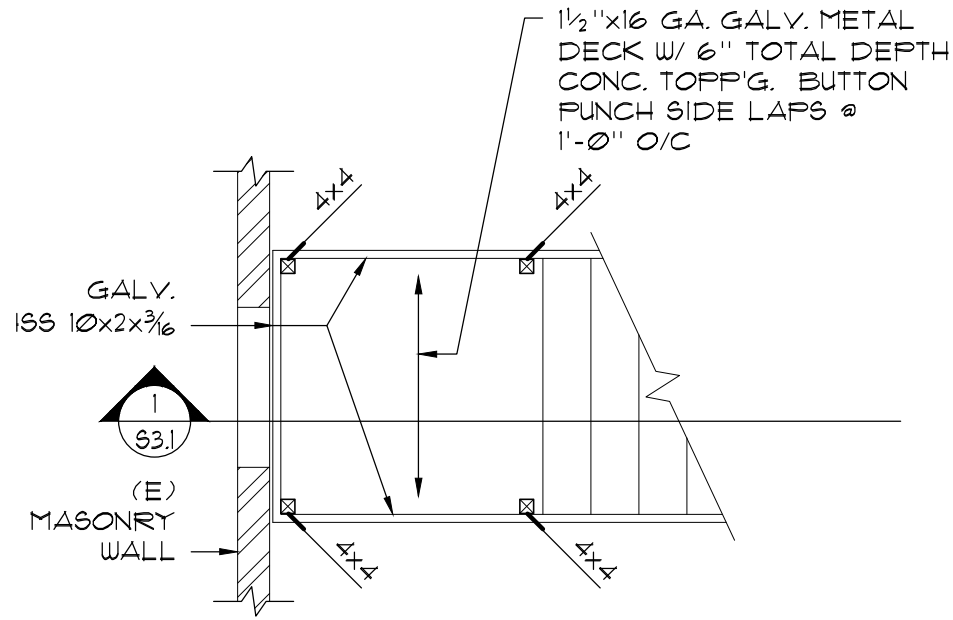
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TMR JOB NO: 10215
DATE: 13 MAR 2013

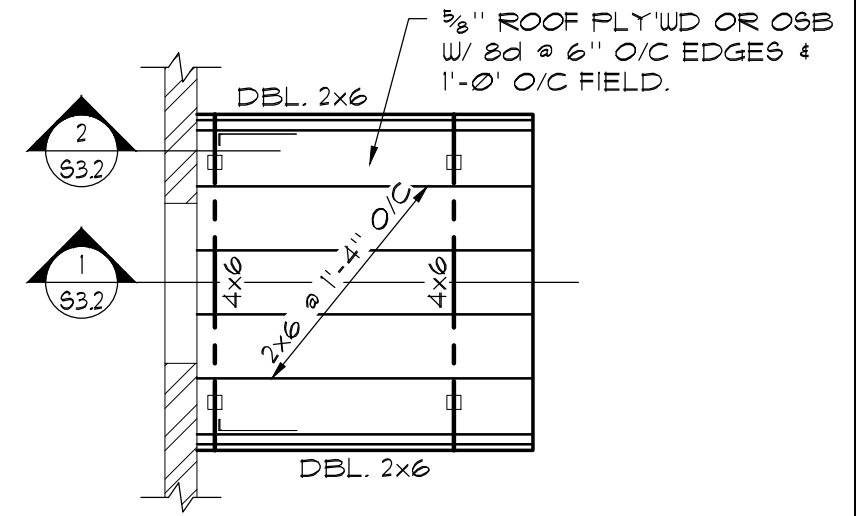
S1.0
SHEET NO.



1 FOUNDATION PLAN
S2.1 SCALE: 1/4"=1'-0"



2 PORCH LEVEL FRAMING PLAN
S2.1 SCALE: 1/4"=1'-0"



3 ROOF FRAMING PLAN
S2.1 SCALE: 1/4"=1'-0"



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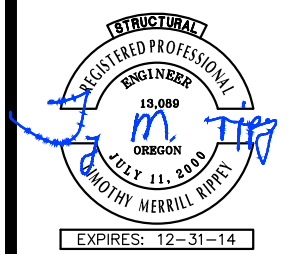
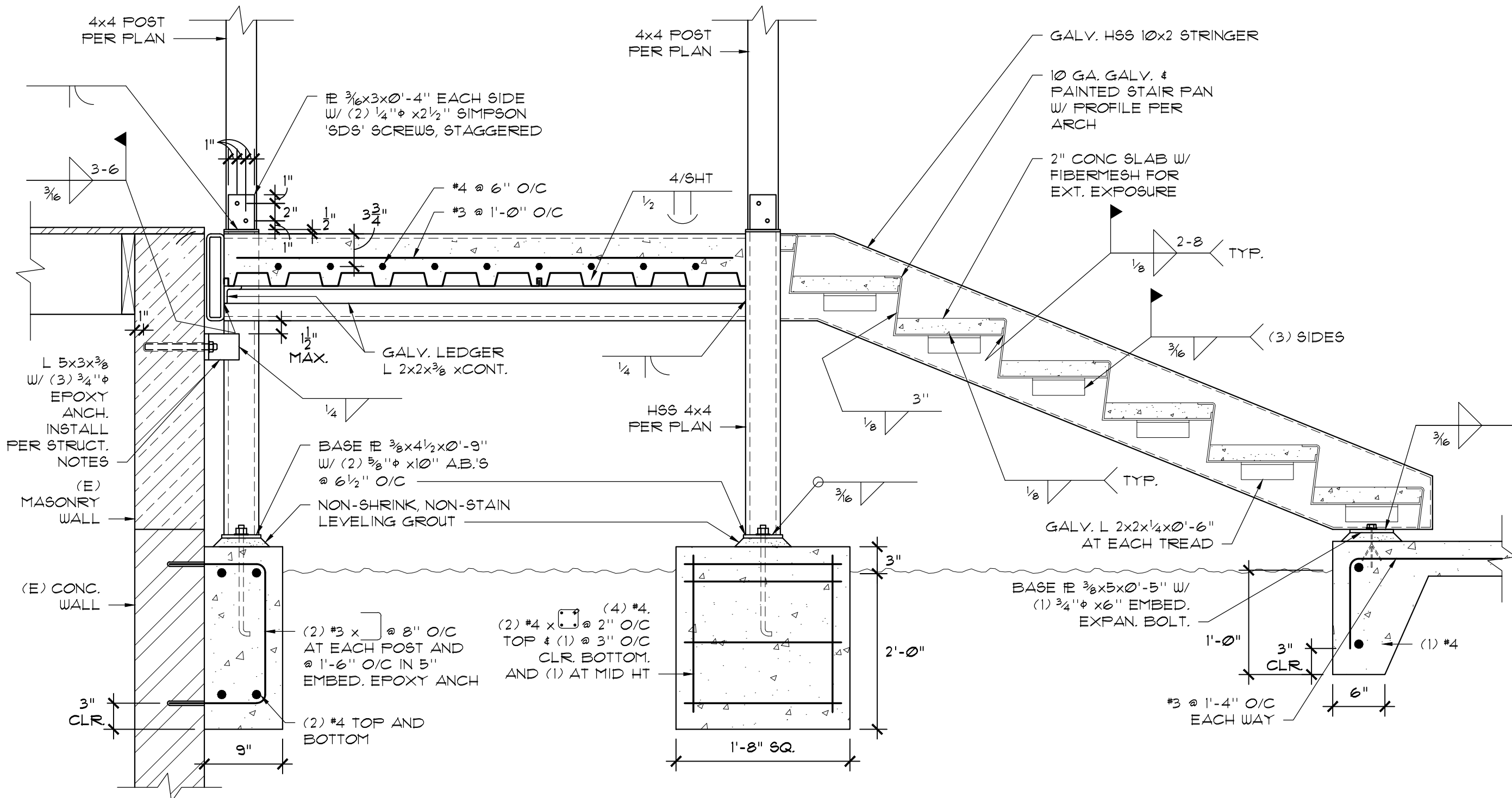
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S2.1
SHEET NO.



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T.M. RIPPEY
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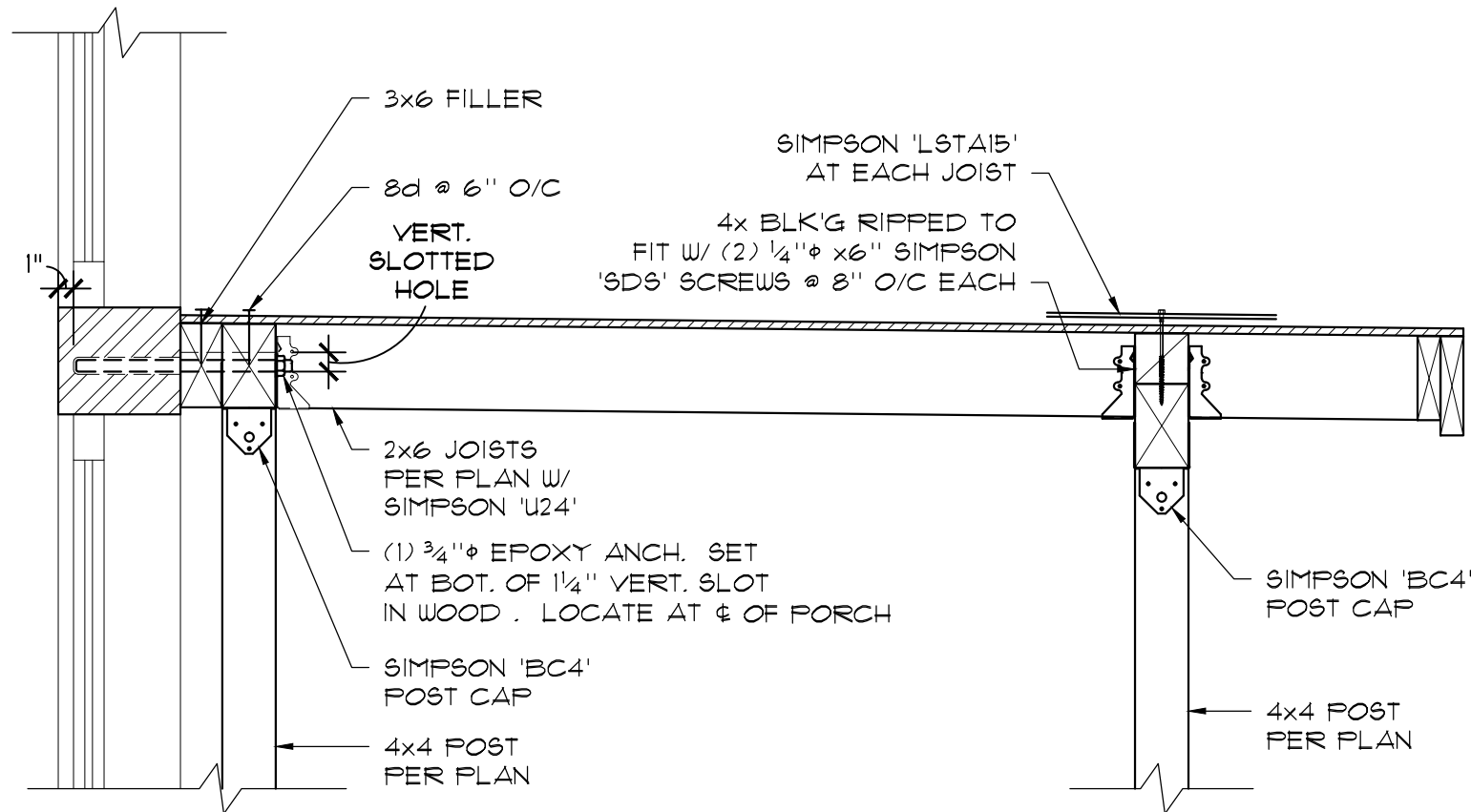
DRAWN: JSC
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DATE: 13 MAR 2013

S3.1
SHEET NO.

1 TYP. PORCH AND STAIR FRAMING SECTION
S3.1 10215-01

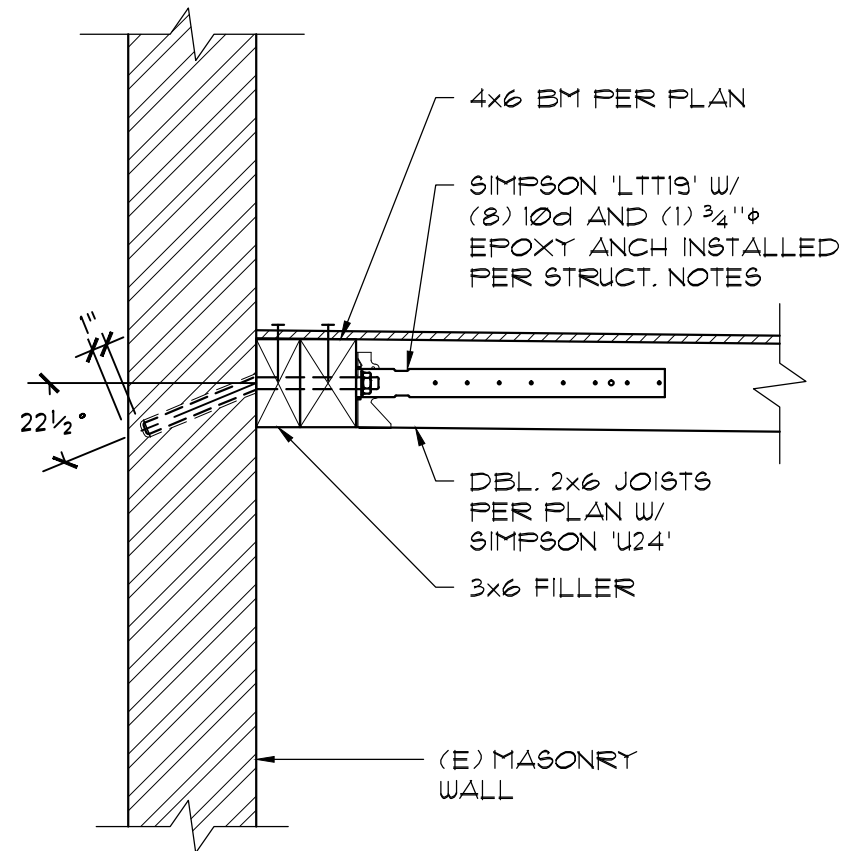
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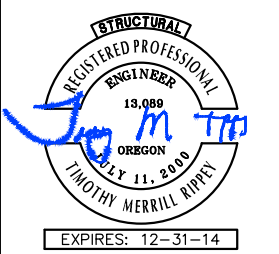
1 TYP. ROOF FRAMING SECTION
S3.2 10215-02

SCALE: 1" = 1'-0"



2 ROOF TIE TO (E) MASONRY WALL
S3.2 10215-01

SCALE: 1" = 1'-0"



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TMR
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S3.2
SHEET NO.